STEELWORKS PARK

PUEBLO, CO

INDEX OF SHEETS:

DESCRIPTION COVER

CONSTRUCTION FENCING PLAN DEMOLITION PLAN

GRADING PLAN LAYOUT PLAN

PAVING PLAN AND DETAILS

LIGHTING PLAN

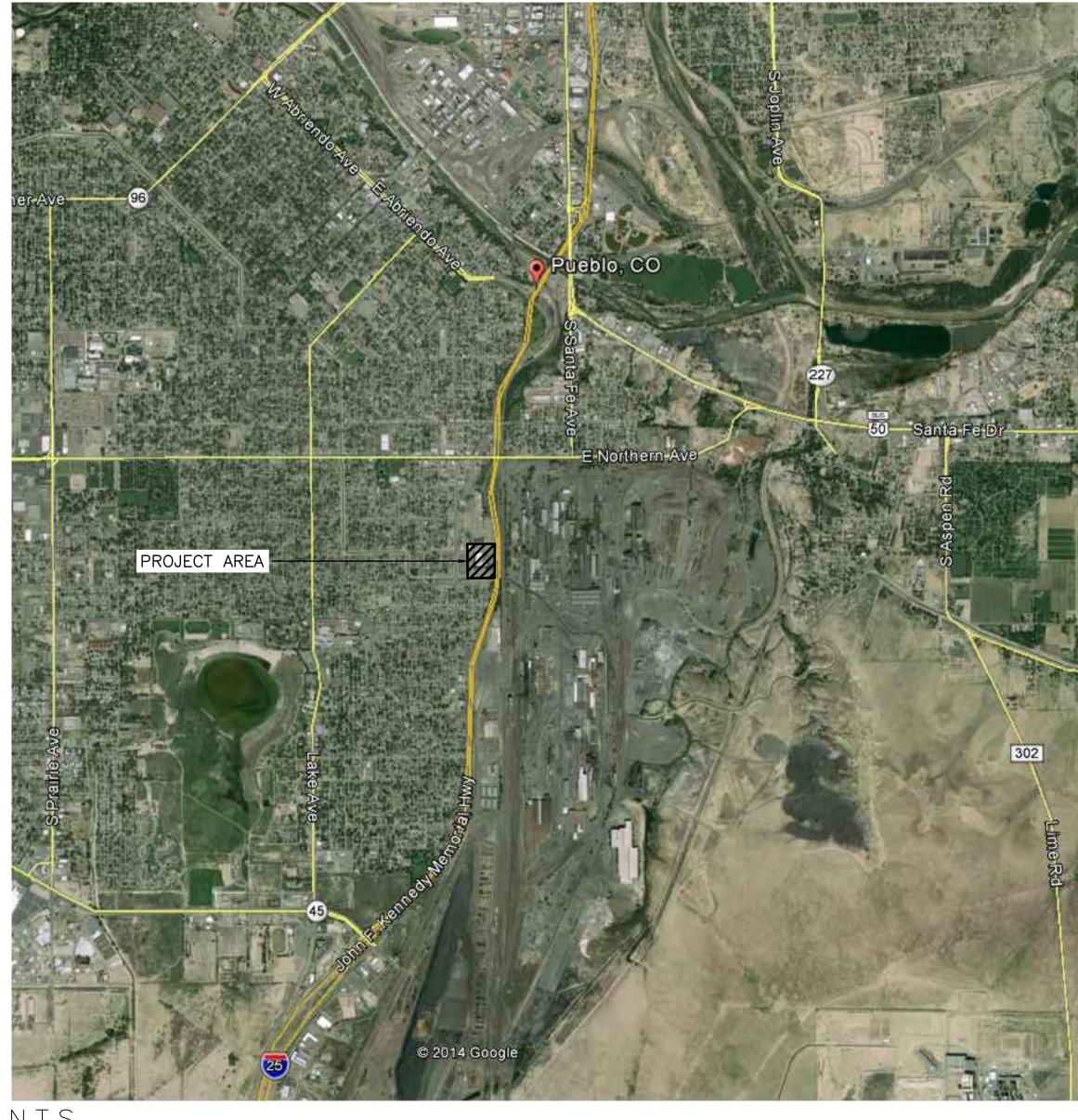
IRRIGATION PLAN AND DETAILS

LANDSCAPE PLAN

DETAILS 14 - 16

STRUCTURAL NOTES

CONTEXT MAP:

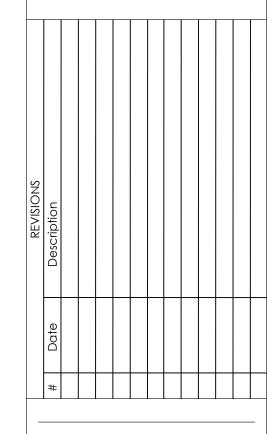




GENERAL NOTES:

- 1. CONTRACTOR SHALL RECEIVE FINAL APPROVAL FROM THE LANDSCAPE ARCHITECT AT CONTRACT COMPLETION. ALL WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 2. NO HEAVY EQUIPMENT WILL BE PERMITTED ON NEW CONCRETE OR PLAZA SURFACE AFTER INSTILLATION. 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EROSION AND SEDIMENT CONTROL PLAN. THE E&SC WILL SHOW CONSTRUCTION AND PERMANENT BEST MANAGEMENT PRACTICES FOR STORMWATER, EROSION CONTROL. SEDIMENT CONTROL, WASTE AND POLLUTION CONTROL, ETC. SEE SHEET 3 FOR ADDITIONAL INFORMATION.





DATE: 01-18-17

PROJECT NO: 7523-001

DRAWN BY: BAP CHECKED BY: JKG 2. EXISTING INFRASTRUCTURE TO REMAIN IN GOOD WORKING CONDITION THROUGHOUT THE DEMOLITION PROCESS. ANY DAMAGE CAUSED BY THE CONTRACTOR WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR THE REPAIR.

3. REMOVE ALL PAVING, CONCRETE AND LANDSCAPE MATERIAL INCLUDING MULCH, SOD, ROCK MULCH, PLANT MATERIAL AND WEED FABRIC FROM AREAS NOTED ON THE DEMOLITION PLAN. REMOVE ANY OTHER DEBRIS NOT SHOWN THAT WILL CONFLICT WITH CONSTRUCTION

4. INFORM LANDSCAPE ARCHITECT OR OWNER IMMEDIATELY IF EXISTING SITE CONDITIONS VARY FROM PLAN.

5. ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS APPROVED FOR REUSE ON THE SITE BY THE OWNER

6. THE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE AND OR LOCAL LAWS AND ORDINANCES.

7. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL

8. EXISTING STRUCTURES, FENCES, TREES, LIGHT FIXTURES ETC., TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE. ALL DAMAGES SHALL BE RESTORED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES.

9. ANY UTILITIES ARE TO REMAIN IN SERVICE SHALL BE PROTECTED.

10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL DEBRIS TRACKED, DUMPED, SPILLED OR WIND BLOWN FROM THIS SITE ONTO OTHER SITES THE CONTRACTOR MUST CLEAN OR PICK UP DAILY IF NECESSARY

11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL THE UTILITY COMPANIES 72 HOURS BEFORE DEMOLITION IS TO BEGIN AND VERIFY UTILITY LOCATES

12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL FEDERAL, STATE, COUNTY, CITY, AND LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED

13. THE EXTENT OF THE DEMOLITION SHOWN HEREIN IS PROVIDED TO INDICATE THE GENERAL LOCATION AND NATURE OF REQUIRED DEMOLITION WORK. THESE DRAWINGS MAY NOT REFLECT ALL EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL COORDINATE AND ADJUST THE LIMITS OF CONSTRUCTION NECESSARY TO ACCOMPLISH THE FINAL PRODUCT AS SHOWN ON THE PLANS.

14. NO ACCESS, STORAGE OR CONSTRUCTION RELATED ACTIVITIES SHALL OCCUR OUTSIDE OF THE CONSTRUCTION LIMITS.

15. ALL ITEMS DESIGNATED TO BE STOCKPILED SHALL BE CAREFULLY REMOVED, PROTECTED FROM DAMAGE, STOCKPILED, AND REINSTALLED AS DESIGNATED ON THE PLANS. ANY DAMAGE INCURRED ON STOCKPILED ITEMS SHALL BE RESTORED, RECONSTRUCTED, OR REPLACED TO AT LEAST THE ORIGINAL CONDITION BY THE CONTRACTOR AT HIS EXPENSE

16. ON WESTERN PROPERTY BOUNDARY, THE EXISTING CHAIN LINK FENCE IS THE PROPERTY LINE.

17. NO WORK WILL TAKE PLACE OUTSIDE BHS/STEELWORKS PROPERTY.

STORMWATER MANAGEMENT AND BMPS

1. CONTRACTOR SHALL PREPARE STORMWATER MANAGEMENT PLANS USING BEST MANAGEMENT PRACTICES PRIOR TO THE START OF CONSTRUCTION.

2. CONTRACTOR SHALL PROVIDE A VEHICLE TRACKING PAD AT THE ENTRANCE TO THE CONSTRUCTION SITE.

3. STREET SWEEPING SHALL OCCUR AS NEEDED ALONG BAYSTATE AVE. TO PREVENT THE TRANSPORTATION OF SEDIMENT OFF THE SITE.

STORM DRAIN INLETS IN BAYSTATE AVE WILL BE PROTECTED FROM SEDIMENT AND DEBRIS

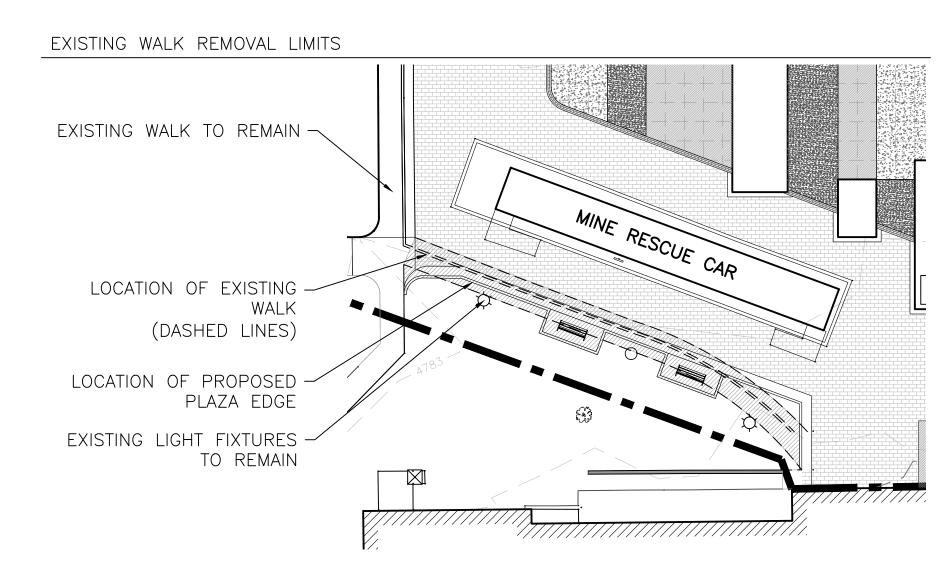
ACCORDING TO BMP'S 5. PRIOR TO ANY CONSTRUCTION, INCLUDING SITE GRADING AND EXCAVATION, AN APPROVED 'EROSION AND SEDIMENT CONTROL PLAN' SHALL BE POSTED ON-SITE AND ALL REQUIRED

BMPS INSTALLED. 6. GENERAL CONTRACTOR SHALL MAINTAIN AND UPDATE THE 'EROSION AND SEDIMENT CONTROL PLAN' AS CONSTRUCTION DICTATES. CURRENT AND CORRECT PLAN SHALL REMAIN ON-SITE

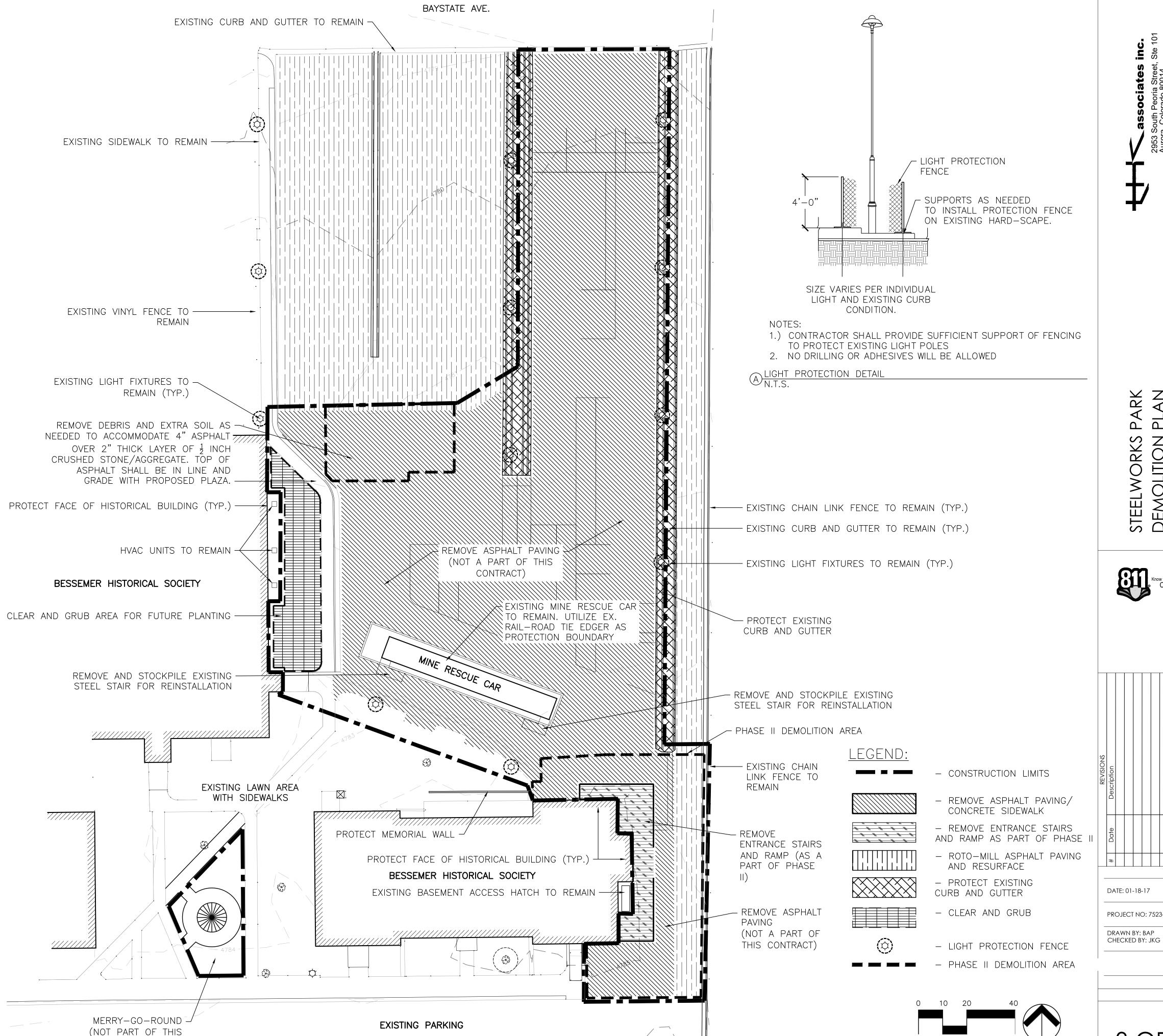
AND BE READILY ACCESSIBLE TO THE CITY STORMWATER INSPECTOR AT ALL TIMES. 7. GENERAL CONTRACTOR OR HIS REPRESENTATIVE SHALL INSPECT, AT A MINIMUM, THE SITE EVERY 2 WEEKS AND WITHIN 24 HOURS OF ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE EROSION. (I.E., THAT RESULTS IN STORMWATER RUNNING ACROSS THE

GROUND) 8. GENERAL CONTRACTOR/OWNER IS FULLY RESPONSIBLE TO MAINTAIN ALL REQUIRED BMPS TO

PREVENT EROSION AND SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. 9. FAILURE TO COMPLY WITH MINIMUM REQUIREMENTS IS A VIOLATION WITH THE CITY ORDINANCES.

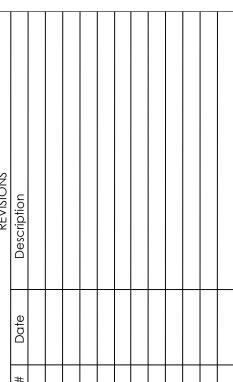


CONTRACT)



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DEMOLITION |

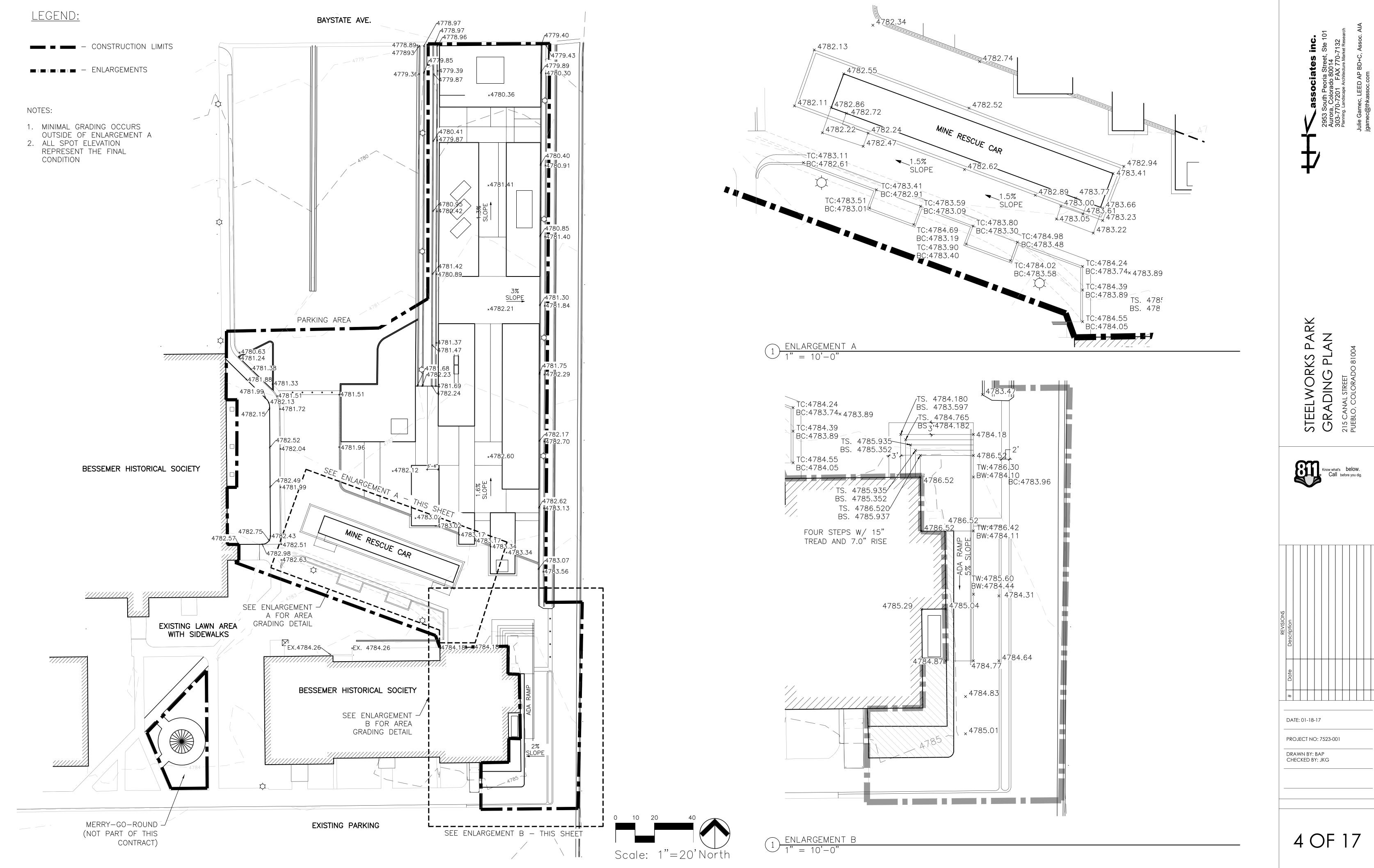


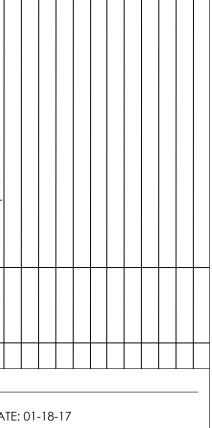


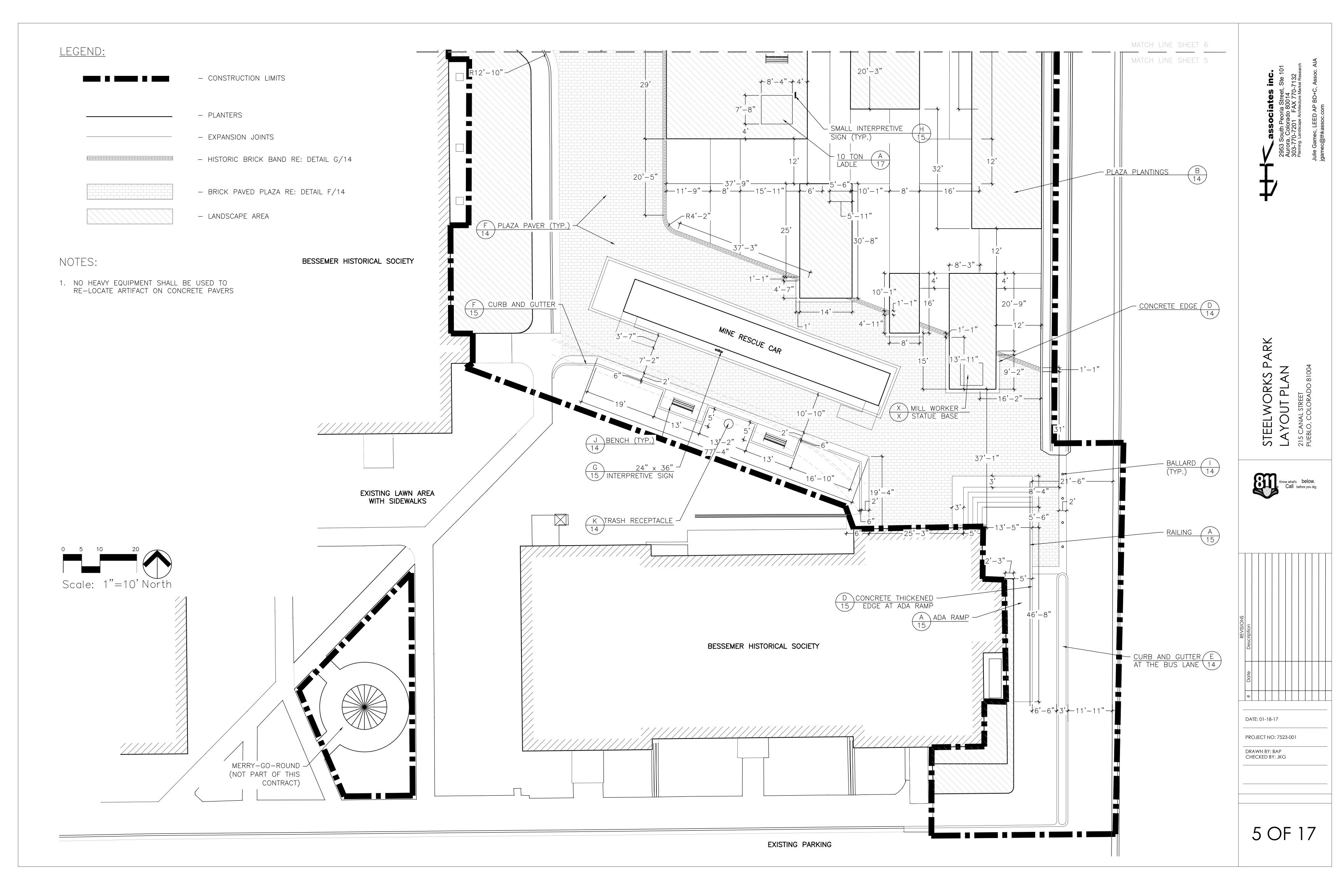
DATE: 01-18-17

PROJECT NO: 7523-001 DRAWN BY: BAP

Scale: 1"=20'North







<u>LEGEND:</u> BAYSTATE AVE. - CONSTRUCTION LIMITS A 130 TON LADLE — - PLANTERS EXPANSION JOINTS - SMALL INTERPRETIVE - HISTORIC BRICK BAND RE: DETAIL G/14 - BRICK PAVED PLAZA RE: DETAIL F/14 - LANDSCAPE AREA NOTES: NO HEAVY EQUIPMENT SHALL BE USED TO RE-LOCATE ARTIFACT ON CONCRETE PAVERS —10'-|∤4' - SMALL INTERPRETIVE STEELWORKS PARK
LAYOUT PLAN
215 CANAL STREET
PUEBLO, COLORADO 81004 - DAVENPORT ENGINE D RAIL ROLLERS -H SMALL INTERPRETIVE -SIGN (TYP.) - 36" X 48" INTERPRETIVE G SIGN 15 16'-4" K TRASH RECEPTACLE — G 24" x 36" 15 INTERPRETIVE SIGN G 14 - BENCH TYP. -18'-4" + 8' -16'-7" -16'-7"F CURB AND GUTTER -

B ORE CARTS

BOLLARDS

DATE: 01-18-17

PROJECT NO: 7523-001

DRAWN BY: BAP CHECKED BY: JKG

- SMALL INTERPRETIVE H
SIGN (TYP.) 15

MATCH LINE SHEET 6

MATCH LINE SHEET 5

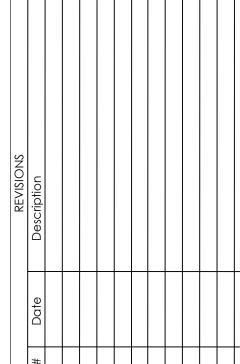
Scale: 1"=10' North

MERRY-GO-ROUND -(NOT PART OF THIS

CONTRACT)

STEELWORKS PARK
PAVING PLAN
215 CANAL STREET
PUEBLO, COLORADO 81004





DATE: 01-18-17

PROJECT NO: 7523-001

DRAWN BY: BAP CHECKED BY: JKG

Scale: 1"=20'North

<u>LEGEND:</u>

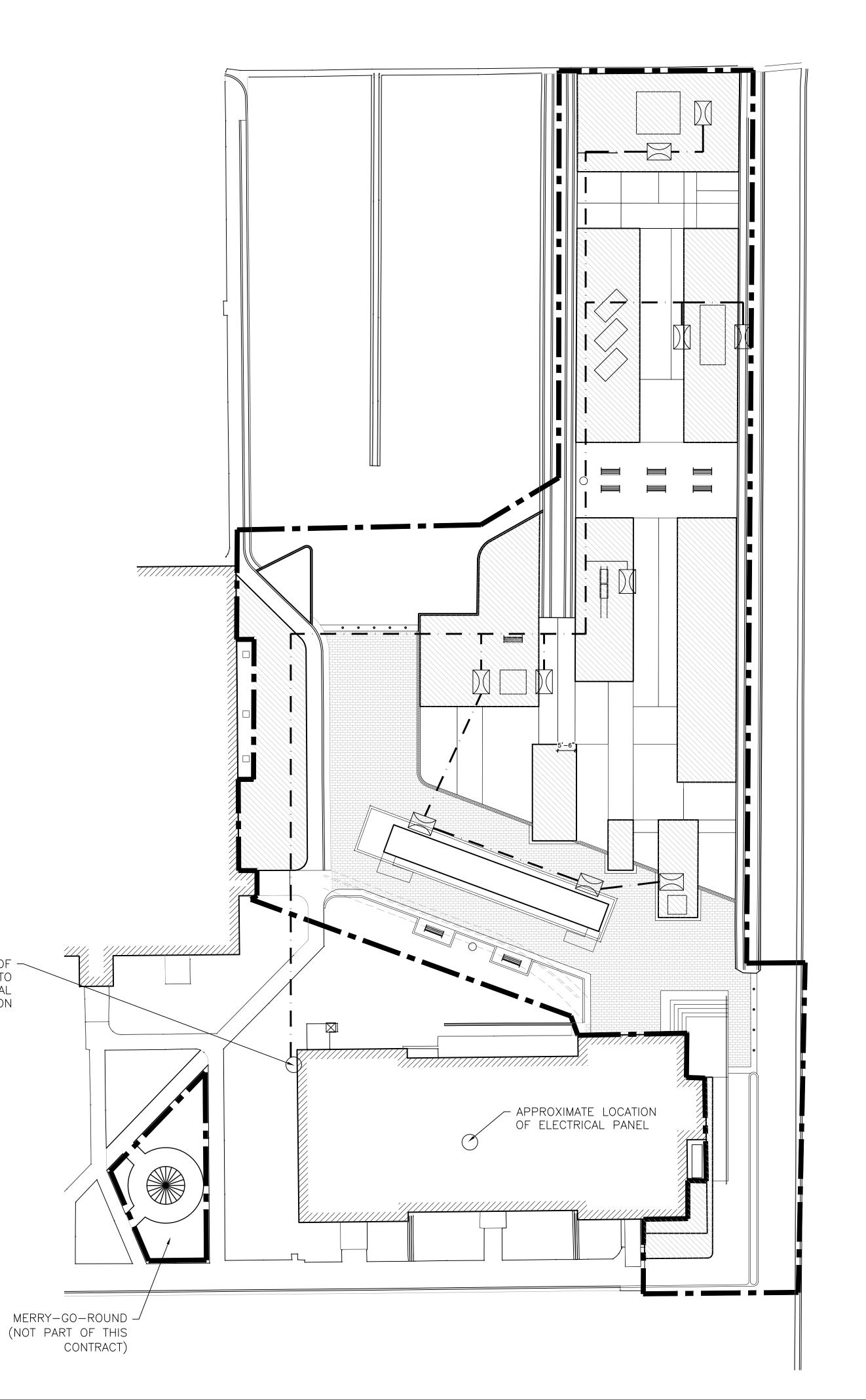
- CONSTRUCTION LIMITS - PLANTERS EXPANSION JOINTS REUSED BRICK BAND - BRICK PAVED PLAZA - LANDSCAPE AREA LIGHT FIXTURE ELECTRICAL CONDUIT

NOTES:

- 1. WHERE POSSIBLE, ELECTRICAL CONDUIT SHALL BE RUN PARALLEL TO
- IRRIGATION SLEEVING. 2. NO LIGHT SHALL SHINE ONTO INTERSTATE 25 OR CAUSE A DISTRACTION OR GLARE TO DRIVERS.
- 3. FIXTURES SHALL BE MOUNTED ON 18" STANCHION MOUNT
- 4. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR CONNECTION TO EXISTING ELECTRICAL PANEL.
- 5. FIXTURES SHOWN ARE OVERSIZED FOR CLARITY ONLY. FIXTURES SHALL BE PLACE WHERE POSSIBLE IN LANDSCAPE AREAS.
- 6. FIXTURES PLACED IN CRUSHER FINES SHALL BE LOCATED TO MINIMIZE DISRUPTION FOR VISITORS.

APPROXIMATE LOCATION OF

EXISTING CONDUITS INTO BASEMENT FOR ELECTRICAL CONNECTION



IM LIGHTING			CFL Compact Floodlights sion 11/13/14 • kl_cfl_spec.pdf		
rpe: b: Bessemer kture Catalog number: FL1 1 ED-2713KUV BL	Fixture Options: Ordered Separately from Fixture See pages 3		Approvals:		
re Electrical Module Finish See page 2	Mounting Options: SM18/BL Ordered Separately from Fixture See pages 4-6	· 	Date:		
watt Incandescent) watt Halogen LED ximum weight: 13lb	See pages 4-6 Decifications mensions Le Models to 70 watt HID dium Base Lamps to 42 watt Compact Fluorescent watt Incandescent watt Halogen LED ximum weight: 13lb 10 1/6* (180.2 mm) (18		Page: 1 of 6 w copper (<0.6% Cu) aluminum ral cooling fins over the entire thickness. One-piece silicone frame. sast, low copper (<0.6% Cu) g fins, 100° minimum wall create a continuous cylindrical glass lens is sealed to the lens cone gasket. Lens frame secures el recessed captive allen-head integral locking teeth providing PSM plus solid brass locknut for titanated zirconium conversion ance. ed captive allen-head screws. uminum optical components in base (T-10 Incandescent and gen); 13w CX23-2 2-pin base, secent). abs are UL and CSA recognized es swivel splice comparment, d-32° starting (13 watt Twin factor ballast rated 0°F starting); Reactor - High power factor 'C; for PMH lamp modes. For mer is provided.		
AIMING RANGE	GO	a rectangular array comprised together as one module. Available in 3000, 4200K, 5100K and 580 nm Amber. Emitters are directly attached to the electronic driver. LED Driver: Universal voltage, 120 through 277V electronic driver40°F. starting temperature. All drivers are Underwriters Laboratories recognized.			
10½" (266.7 mm)		Finish: TGIC thermoset polyester powder coat paint, 2.5 minominal thickness, applied over a titanated zirconium conversior coating 2500 hour salt spray test endurance rating. Standar colors are Black, Dark Bronze, Light Gray, Stealth Gray, Platinum Silver, or White. Custom colors are available. CAUTION: Fixtures must be grounded in accordance with national, state, and/or local electrical codes. Failure to do so may result in serious personal injury.			
LED Assembly		Listings UL cUL 1598, CE 'Suitable for wet locations. KIM LIGHTING RESERVES THE RIGHT TO CH	and Ratings IP66 Rated 25C Ambient ANGE SPECIFICATIONS WITHOUT NOTICE.		

M. HOLITING		CFL Compact Floodlights	*	
M LIGHTING Det Det:	re	vision 11/13/14 • kl_cfl_spec.pdf Page: 3 of 6	Type: Job:	
	Fixture Options Ordered Separately from Fixture			Mounting Options Ordered Separately from Fixtu
n Doors No. (see right) ☐ No Option	Extruded aluminum, fully adjustable doors with anti-reflection baffles. Individually swiveled and secured on a stainless steel frame. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides beam and glare control. CAUTION: Not recommended for ground mounted fixtures in vandal prone areas. Cat. No. BD-CFL/BL Black BD-CFL/BD Dark Bronze BD-CFL/GB Light Gray BD-CFL/GS Stealth Gray** BD-CFL/PS Stealth Gray** BD-CFL/PS Platinum Silver BD-CFL/WH White	3° (76.2 mm)———————————————————————————————————	Brass In-Grade Architectural Junction Box Cat. No. (see right) ☐ No Option	Die-cast brass with ½" NPSM fixture mour cover. Internal set screw provided for locking in. internal volume. JBR-2
ed Hood No. (see right)	Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides moderate shielding for glare control. Cat. No. FH-CFL/BL Black FH-CFL/DB Dark Bronze FH-CFL/IG Light Gray FH-CFL/SG Stealth Gray FH-CFL/PS Platinum Silver FH-CFL/WH White	-10 %6" - 3 ½" (88.3 mm) - 7 (11.1 mm)	Composite In-Grade Architectural Junction Box Cat. No. JBR-4 JBR-5 No Option Brass In-grade Staked	Composite box with ½" NPSM fixture mount cover. 19 cu in. internal volume. JBR-4 (2) ¾" NPT knockouts in bottom. (4) ¾" NPT knockouts on sides. JBR-5 Same as above but with brass cove CAUTION: Fixture stem and swivel must nor standing water. Provide drainage away JBR30
Shield No. (see right) □ No Option	FRECTUMN Write Formed .062 thick aluminum. Easily attaches to pre-drilled holes in the lens frame with stainless steel screws. Provides complete shielding for glare control. CAUTION: Do not use in locations where leaves and trash can collect inside shield. Cat. No. FS-CFL/BL Black FS-CFL/BL Dark Bronze FS-CFL/BL Light Gray FS-CFL/SG Stealth Gray FS-CFL/SS White FS-CFL/SS White	(86.9 mm) (98.9 mm) (11.1 mm)	Junction Box Cat. No. JBR30 No Option Brass In-grade Staked Junction Box with Cord Cat. No. JBR32 No Option	BRASS IN-GRADE STAKED JUNCTION Die-cast brass with ½ NPSM fixture die-cast cover. Internal set screw provide position. 21 cu in. internal volume. (2) ½" NPT in bottom with (2) 19" long brass NOTE: May also be used to hard mount low v JBR32 BRASS IN-GRADE STAKED JUNCTION CORD Die-cast brass with ½" NPSM fixture die-cast cover. Internal set screw provide position. 21 cu in. internal volume. 9" (S) cord and plug. (2) 19" long brass stakes with 9' cord Application Notes - Creates a flush-mounted appearance May be cast in concrete for increased stab CAUTION: Fixture stem and swivel must not standing water. Provide drainage away from
14 KIM LIGHTING INC. • 16555 B	EAST GALE AVENUE, CITY OF INDUSTRY, CA 91745-1788 - TEL: 626/968-5666 - F	AX: 626/968-5716	© 2014 KIM LIGHTING INC. • 16555 E/	AST GALE AVENUE, CITY OF INDUSTRY, CA 91745-1788
≥ M LIGHTING	, and the second se	CFL Compact Floodlights	A KIM LIGHTING	

KIM LIGHTING		revision 11/13/14 • kl_cfl_spec.pdf	KIM LIGHTING	
Type: Job:		Page: 5 of 6	Type: Job:	
	Mounting Options Ordered Separately from Fixture			Mounting Option Ordered Separately fro
Stanchion Mount Cat. No. (see right) No Option	3" O.D. by .188" wall cast low copper (<0.6% Cu) aluminum with ½" NPSM fixture mount and hand hole with flush cover. Internal set screw fixture lock accessible through hand hole. Internal ground lug supplied with installed lead. Cat. No. SM18/DB Black SM18/DB Dark Bronze SM18/DG SM18/SG Steath Gray" SM18/PS SM18/PS Platinum Silver White	3" DIA. (76.2 mm) ½" (12.7 mm) NPSM Fixture Mount 12" MAX. (30.8 mm) 18" (457.2 mm)	PowerPost™ by Engineered Products Co. Cat. No. ☐ EP17 ☐ No Option	PVC fixture molded in black v corrosion free and UV resistant. connectors and weatherproof box against denting and cracking. Any cable congestion. NOTE: Should be used with grounding means (i.e., third wi wet locations.
Surface Mount Cat. No. (see right) ☐ No Option	Cast low copper (<0.6% Cu) aluminum with mounting ears for wood screw attachment to tree or wood structure. 5.5 cu in. splice compartment with gasketed cover. ½" NPSM fixture mount and ½" NPSM conduit or cord seal entry. NOTE: Surface mount can be connected to conduit or outdoor cord with a waterproof cord seal (by others). Cat. No. J-27NMEL Black J-27NMDB Dark Bronze J-27NLG Light Gray Stealth Gray J-27NMPS Platinum Silver White	23/6" (55.6 mm) 13/4" (41.5 mm) NPSM Fixture Mount 4/6" (114.3 mm) 7/2" (12.7 mm) NPSM Conduit	Architectural Junction Box Cat. No. (see right) No Option	Die-cast, low copper (<0.6% C cylindrical body and matching cov mount. Internal set screw provided ½" NPSM in bottom, 17 cu in. inte CAUTION: Junction box must be avoid contact with soil or standing Cat. No. JB1/BL Black JB1/DB Dark Bronze JB1/LS Stealth Gray*. JB1/SG Stealth Gray*. JB1/SF Platinum Silver JB1/WH White
Architectural Wall Mount Cat. No. (see right) No Option	Die-cast, low copper (<0.6% Cu) aluminum with ½" NPSM fixture mount. Internal set screw provided for locking position. Canopy attaches to stainless steel wall plate for mounting to any standard electrical outlet box. Cat. No. JW/BBL Black JW/DB Dark Bronze JW/LG Light Gray JW/SG Stealth Gray JW/PS Platinum Silver White	15" DIA (127.0 mm) – NPSM Fixture Mount	Portable Spear Mount Cat. No.	Cast iron with ½" NPSM fixture m finish. 5.5 cu in. splice comparts cord and plug. NOTE: For use with incandescent, fixtures only.
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MODEL: KIM CFL1-LED-27L3KUV-BL/SM18/BL COLOR: BLACK

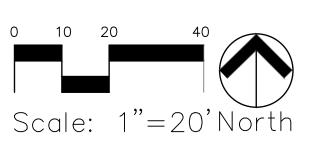
AVAILABLE FROM: THE MH COMPANIES, BRUCE INGWERS 303-573-0222

KIM LIGHTING							CFL Floodlights kl_cfl_spec.pd	
Type: Job:							Page: 2 of 6	
	Standa	ard Featui	res					
Fixture Cat. No. designates CFL fixture and beam pattern.)			+		
Single fixture EPA: 0.3 (45° tilt) 0.5 (Face on)								
	Beam Patterr Cat. No.:	Beam Pattern: Wide Flood Cat. No.: □ CFL1			Narrow Spot ☐ CFL6			
Electrical Module PMH = Pulse Start Metal Halide	Cat. Nos. for	Electrical Modules Pulse Start Metal Halid		H120				
INC = Incandescent		☐ 50PMH277	□ 70PM					
HAL = Halogen PL = Compact	Lamp	E-17, Clear	E-17, Cle					
Fluorescent	Socket		Medium	Base				
LED = Light Emitting Diodes	ANSI Ballast	M-110 Incandescent	M-98 Halogen					
		☐ 60INC120	= 150HA	AL120				
	Lamp	T-10, Coated	T-4, Clea	ır				
	Socket	Medium Base	Mini-can	Base				
Lamp Lamp Line Watts Type Volts 50 PMH 277		Compact Fluorescent 13PL120¹ 13PL277¹	☐ 42PL1 ☐ 42PL2 ☐ 42PL2 ☐ 42PL2	208¹ 240¹	□ 27L2KU □ 27L3KU □ 27L4KU □ 27L5KU	V^{1,2,3} (32. V^{1,2,3} (32.	4W) 4W)	
	Lamp	Twin Tube, Coate			LED			
	Socket	Gx23-2 2-pin Base	e Gx24q-3	4-pin Base	N/A			
	UV = Universa *For 32.4W, Ma	s, 2K = 580 nm Amber, il voltage 120 through 2 ix Amps. are .27 for 120' 26, 32, and 42 watt lar	277V electroni V, .16 for 208V	c driver /, .14 for 240V	, .12 for 277V.	100 Kelvir	1,	
Finish								
Finish TGIC powder coat paint over a titanated zirconium	Color: Bla		,	Stealth Gray™ □ SG	Platinum Silver	White □ WH	Custom Colo	
conversion coating.		ors subject to additi esentative. Custom			n quantities an	d extend	ed lead time	

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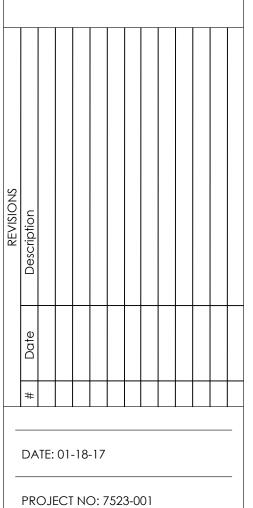
KIM LIGHTING		CFL Compact Floodlights revision 11/13/14 • kl_cfl_spec.pd
Type: Job:		Page: 4 of 6
	Mounting Options Ordered Separately from Fixture	
Brass In-Grade Architectural Junction Box Cat. No. (see right) No Option	Die-cast brass with ½" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume. JBR-2	33% DIA. (05.5 mm) 1/2" (12.7 mm) NPSM Fixture Mount 3" (70.2 mm)
	Creates a flush-mounted appearance. May be cast in concrete for increased stability. CAUTION: Fixture stem and swivel must not contact soil or standing water. Provide drainage away from junction box.	Optional Concrete (by others)
Composite In-Grade Architectural Junction Box Cat. No. JBR-4 JBR-5 No Option	Composite box with ½" NPSM fixture mount and composite cover. 19 cu in. internal volume. JBR-4 (2) ¾" NPT knockouts in bottom. (4) ¾" NPT knockouts on sides. JBR-5 Same as above but with brass cover. CAUTION: Fixture stem and swivel must not contact soil or standing water. Provide drainage away from J-Box.	We NPSM Sign ren. 54° 100 mm. 54° 100
Brass In-grade Staked Junction Box Cat. No. JBR30 No Option	JBR30 BRASS IN-GRADE STAKED JUNCTION BOX Die-cast brass with ½ NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume. (2) ½" NPT in bottom with (2) 19" long brass stakes	12.7 mm NPSM Fixture Mount 13.4° 168.3 mm 168.3 mm 168.3
Brass In-grade Staked Junction Box with Cord Cat. No.	NOTE: May also be used to hard mount low voltage fixtures. JBR32 BRASS IN-GRADE STAKED JUNCTION BOX WITH CORD	1936" 1856" (492.1 mm) (473.1 mm)
☐ JBR32 ☐ No Option	Die-cast brass with ½" NPSM fixture mount and die-cast cover. Internal set screw provided for locking position. 21 cu in. internal volume. 9' (SJTW-A) 3 wire cord and plug. (2) 19" long brass stakes with 9' cord	1' (25.4 mm
	Application Notes Creates a flush-mounted appearance. May be cast in concrete for increased stability. CAUTION: Fixture stem and swivel must not contact soil or standing water. Provide drainage away from junction box.	

Type: Job:		Page: 6 of 6
	Mounting Options Ordered Separately from Fixture	
PowerPost™ by Engineered Products Co. Cat. No. ☐ EP17 ☐ No Option	PVC fixture molded in black with ½" NPT mount is corrosion free and UV resistant. Replaces EMT, conduit connectors and weatherproof boxes. 100% shatter resistant against denting and cracking, Angled bottom to eliminate cable congestion. NOTE: Should be used with a UL listed fixture and grounding means (i.e., third wire) suitable for use in wet locations.	3/4" DIA. (826 mm)
Architectural Junction Box Cat. No. (see right) No Option	Die-cast, low copper (<0.6% Cu) anodized aluminum cylindrical body and matching cover with ½" NPSM fixture mount. Internal set screw provided for locking position. Two ½" NPSM in bottom, 17 cu in. internal volume. CAUTION: Junction box must be installed high enough to avoid contact with soil or standing water. Cat. No. JB1/BL Black JB1/BL Black JB1/BG Stealth Gray JB1/SG Stealth Gray JB1/SG Stealth Gray JB1/SH White	3" DIA (76.2 mm) NPSM Fixture Mount 43/4" (120.7 mm) Cover (2) ½" (12.7 mm) NPSM
Portable Spear Mount Cat. No.	Cast iron with ½" NPSM fixture mount. Hot dip galvanized finish. 5.5 cu in. splice compartment. 9' (SJTW-A) 3 wire cord and plug. NOTE: For use with incandescent, halogen, and fluorescent fixtures only.	3½° DIA. ½° (127mm) NPSM Fixture Mount (772 mm) (772 mm)



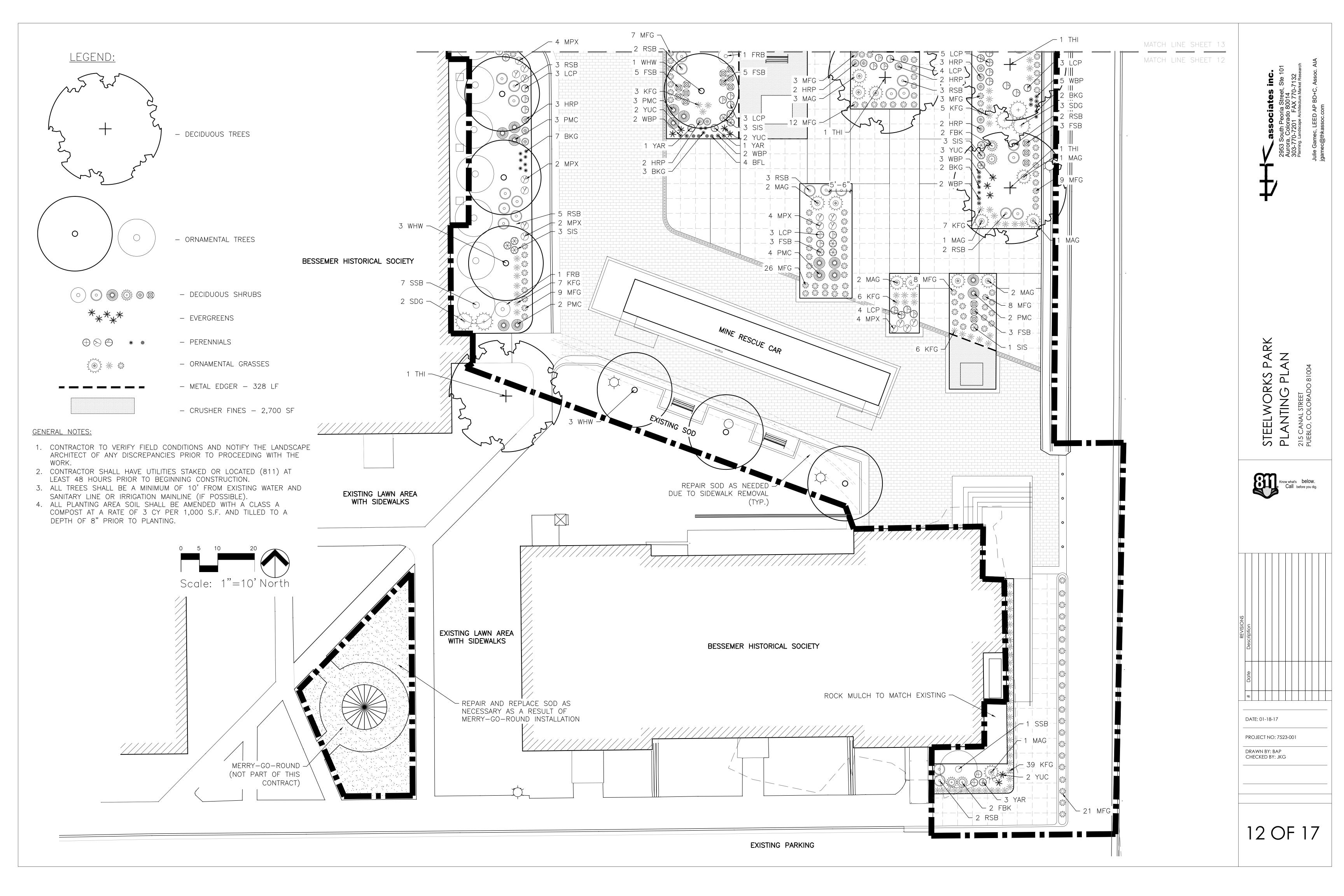
PARK STEELWORKS PAI LIGHTING PLAN

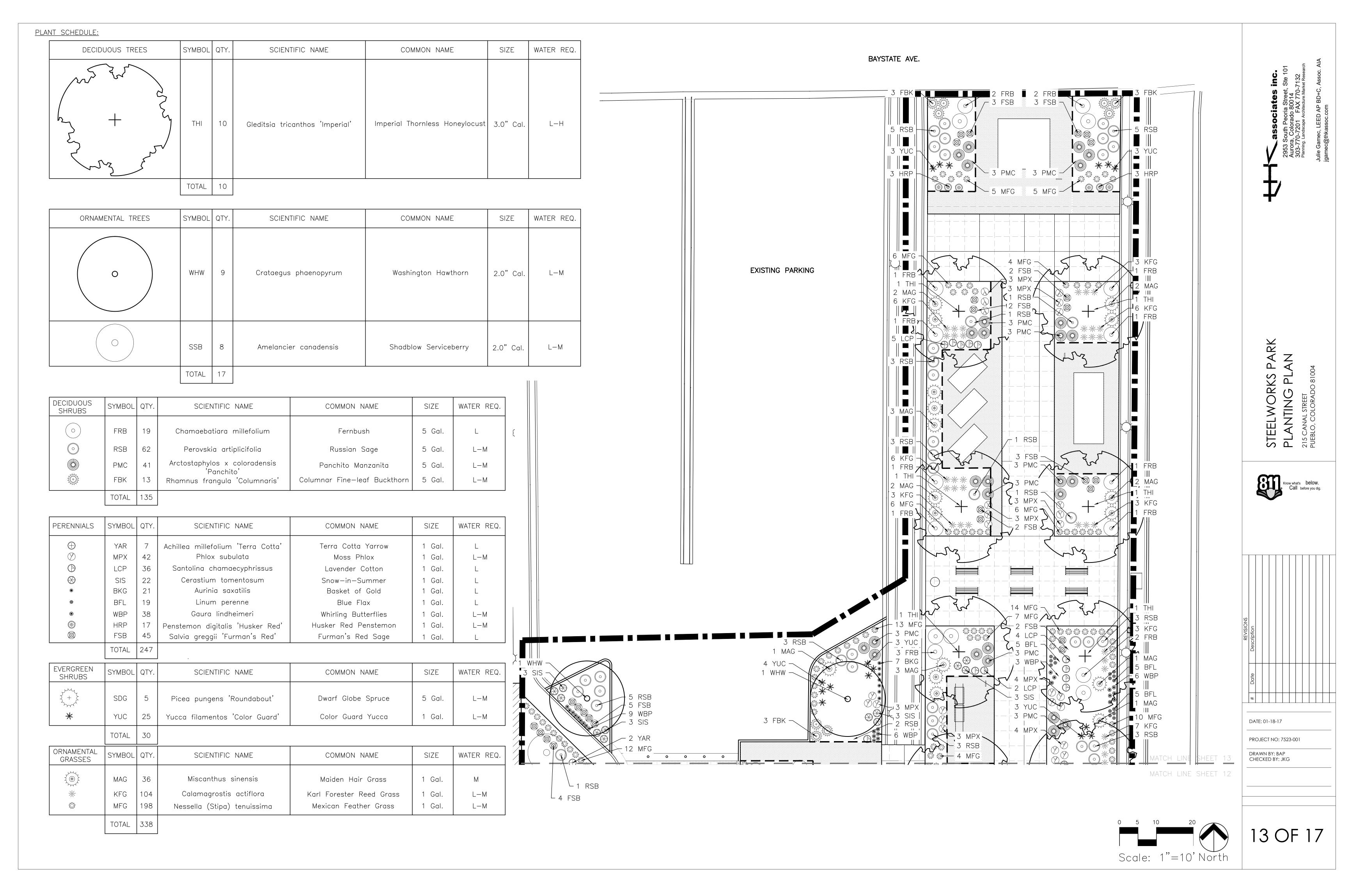




8 OF 17

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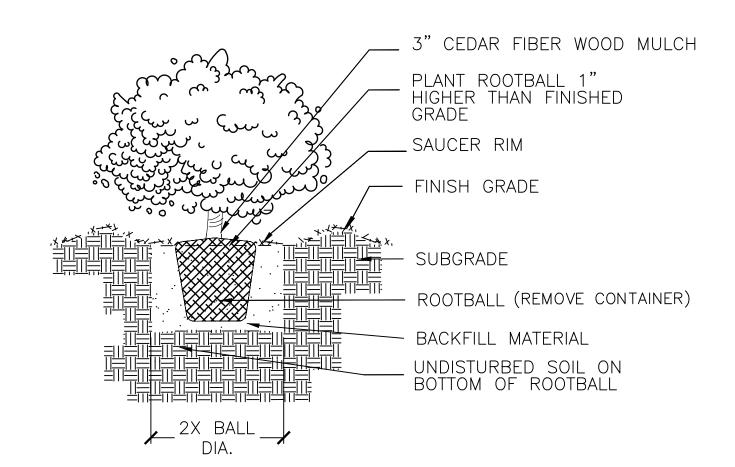




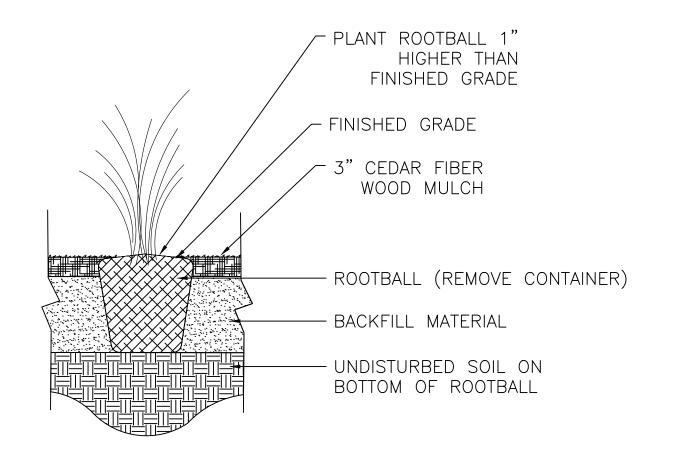
1. TREE TO BE PLANTED WITH TOP OF ROOTBALL APPROX. 3 INCHES ABOVE FINISHED GRADE.

2. WATER THOROUGHLY AT THE TIME OF INSTALLATION. DO NOT FERTILIZE. 3. SAUCER RIM SHALL COMPLETELY SURROUND THE PLANT WHEN ON LEVEL GROUND.

A DECIDUOUS TREE PLANTING N.T.S.

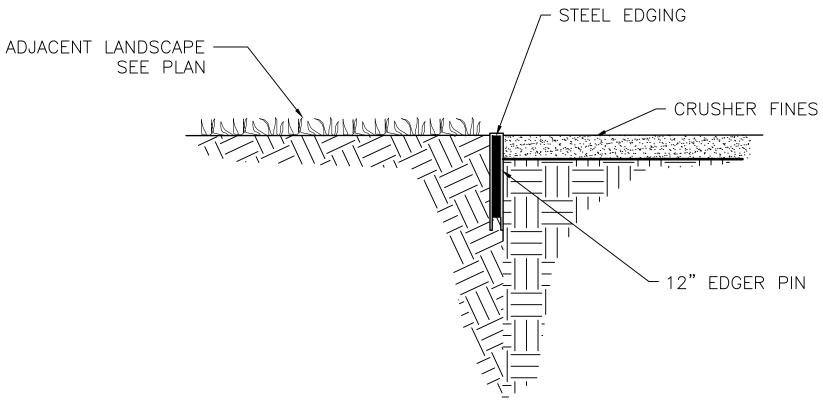


B SHRUB PLANTING N.T.S.



ORNAMENTAL GRASSES AND PERENNIAL PLANTING N.T.S.

#4 X @ 24" O.C. 1/2" CHAMFER 3-#4 REBAR CONTINUOUS → AT THICKENED EDGE 3" CEDAR FIBER OF PLANTERS WOOD MULCH VARIES: PLAZA PAVING RE: CONCRETE PAVING DETAIL SHEET 7 OF 14 AND PLAZA PAVERS DETAIL SHEET 14 OF 17 95% COMPACTED SUBGRADE **/**─12" — **/** 1. THICKENED EDGE IS USED AROUND ALL 4 SIDES OF PLANTING AREA. PAVING VARIES BETWEEN CONCRETE PAVING AND PLAZA PAVERS. SEE PLAN. TYPICAL CONCRETE EDGE AT PLAZA PLANTINGS N.T.S. WOOD MULCH PLANTING AREA 6" CONCRETE CURB AND GUTTER (TYP.) JOINT FILLER -ASPHALT PAVING -(TYP.) 95% COMPACTED SUBGRADE (TYP.) \searrow SHRUB BED SOIL (SEE SPECS) 1. LANDSCAPE AREA AT BUS LANE SHALL BE BACKFILLED WITH THE SPECIFIED 2. LANDSCAPE AREA SHALL HAVE 3" DEPTH MIN. OF CEDAR FIBER MULCH. 3. HOLD TOP OF MULCH 2" BELOW THE TOP OF CURB. E CURB AND GUTTER AT BUS LANE N.T.S. PAVERS (TYP.) -2" LEVELING SAND -GEOTEC FABRIC -95% COMPACTED SUBGRADE (TYP.) AVAILABLE FROM: SUMMIT BRICK COLOR: WHEATRIDGE CLASSIC 1. INSTALL BRICKS IN A RUNNING BOND AS SHOWN IN THE PLANS. 2. RE: SPECS FOR BEDDING AND JOINT STYLE: CLASSIC TRADITIONS SAND INFORMATION. E PLAZA PAVERS N.T.S. GROUT JOINTS BETWEEN / 4-1/2" X 9" HISTORIC HISTORIC BRICK AS WELL BRICK FROM OWNER AS ALONG CONCRETE CHANNEL APPLY LIGHT BROOM FINISH -3/8" EXPANSION TO ALL EXPOSED CONCRETE JOINT (TYP.) HISTORIC BRICK PAVERS SEE THIS SHEET FOR — PLAZA PAVER INSTALLATION DETAILS CONCRETE PLAZA - CONCRETE CHANNEL 95% COMPACTED SUBGRADE (TYP.) L CIP CONCRETE CHANNEL MORTAR BED 1. SET TOP OF CONCRETE CHANNEL AND HISTORIC BRICK FLUSH WITH ADJACENT PAVERS AND CONCRETE PLAZA GHISTORIC BRICK BAND - SECTION N.T.S.





1. BOLLARD IS 2.36" WIDE AND 40" TALL 2. SECURE BOLLARD TO CONCRETE USING BOLTS 3. INSTALL PER MANUFACTURER RECOMMENDATIONS

MANUFACTURER: MODERN DESIGN SITE FURNISHINGS MODEL: LOT SL100 COLOR: POWDER COAT BLACK



1. BENCHES SHALL BE SURFACE MOUNTED. 2. BENCHES SHALL BE MOUNTED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

MANUFACTURER: WABASH VALLEY MODEL: DEWART COLLECTION 6' BENCH WITH SLAT PATTERN COLOR: POWDER COAT BLACK

J BENCH N.T.S.



1. BENCHES SHALL BE SURFACE MOUNTED. 2. BENCHES SHALL BE MOUNTED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

MANUFACTURER: WABASH VALLEY MODEL: URBANSCAPE FG - 32 GALLON, FLAT TOP, SLAT COLOR: POWDER COAT BLACK K TRASH RECEPTACLE N.T.S.

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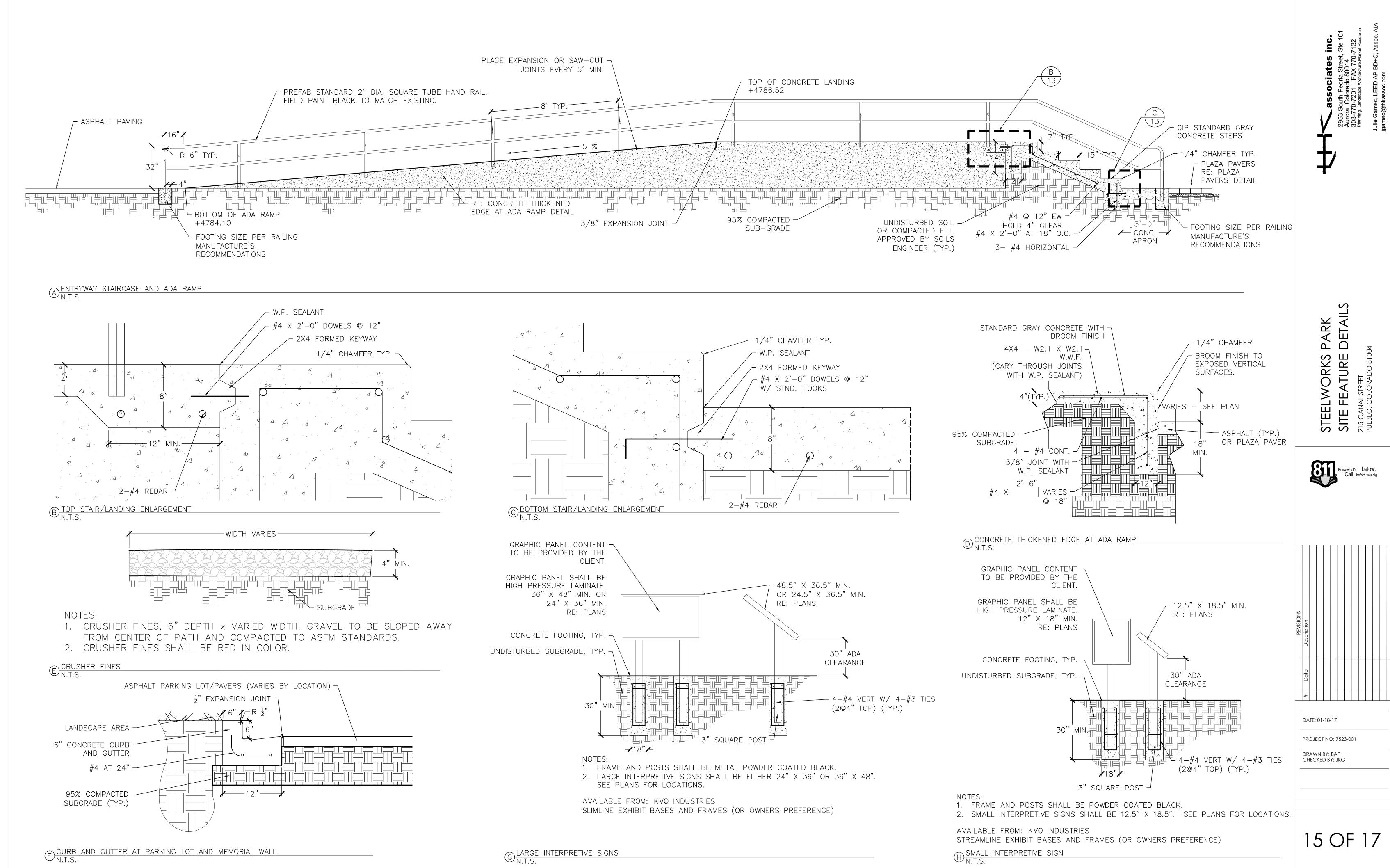
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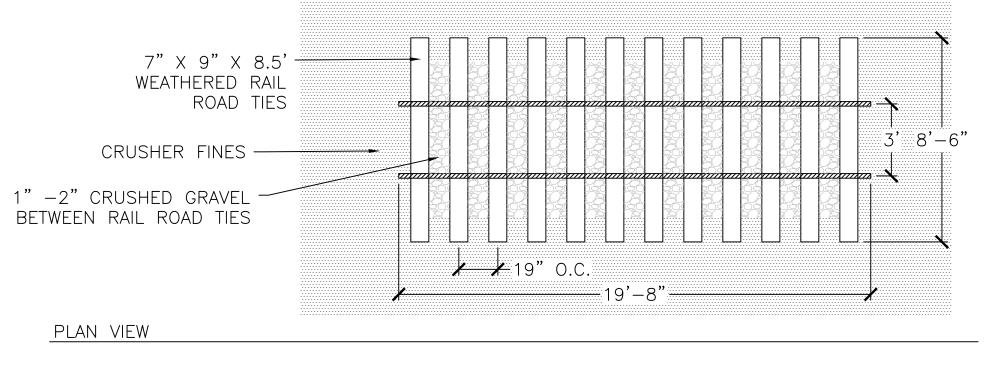
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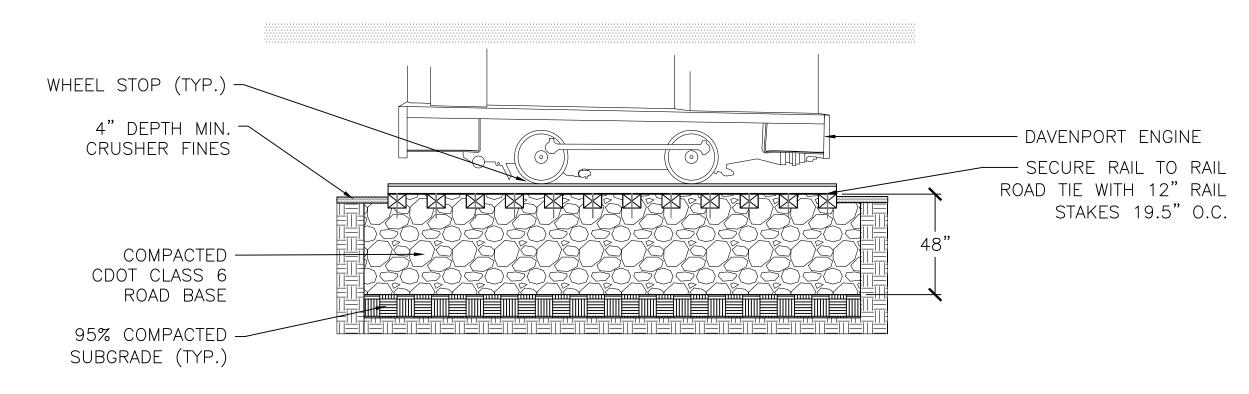
DATE: 01-18-17

DRAWN BY: BAP

PROJECT NO: 7523-001



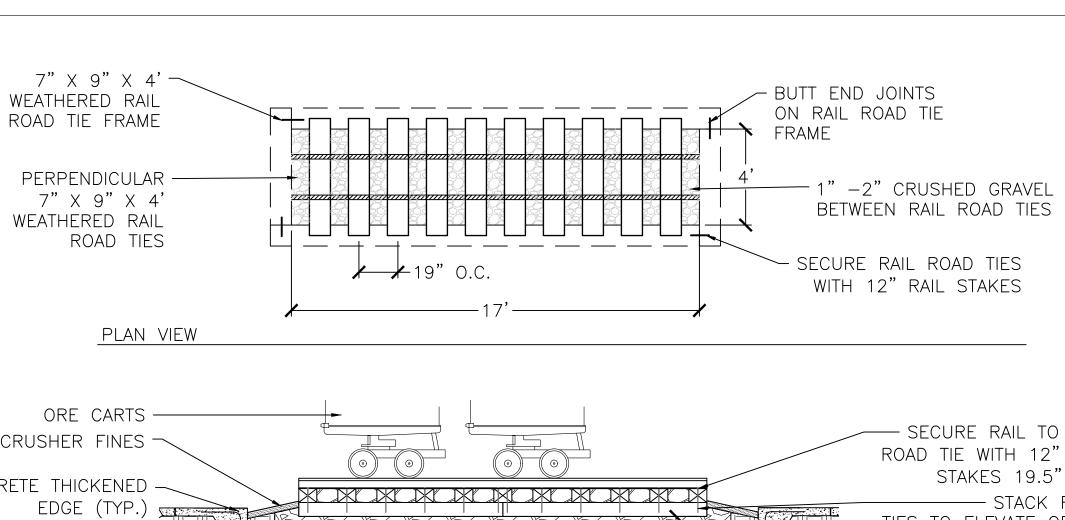


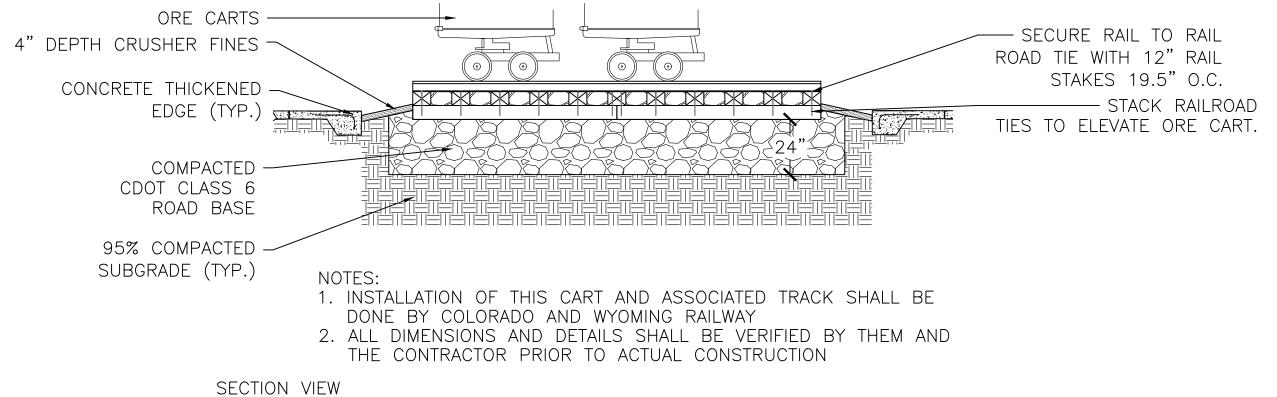


1. INSTALLATION OF THIS CAR AND ASSOCIATED TRACK SHALL BE DONE BY COLORADO AND WYOMING RAILWAY 2. ALL DIMENSIONS AND DETAILS SHALL BE VERIFIED BY THEM AND THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION

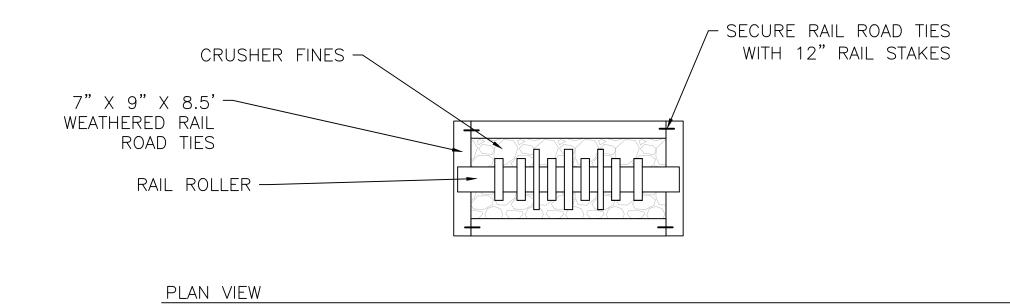
SECTION VIEW

O DAVENPORT ENGINE PLAN AND SECTION N.T.S.





BORE CART PLAN AND SECTION N.T.S.



— SECURE RAIL TO RAIL ROAD TIE WITH 12" RAIL STAKES 19.5" O.C. — DOUBLE STACK RAILROAD RAIL ROLLER — TIES TO ELEVATE RAIL ROLLERS. 4" DEPTH CRUSHER FINES -BOTTOM TIES TO RUN PERPENDICULAR TO THE CONCRETE THICKENED UPPER TIES EDGE (TYP.) COMPACTED CDOT CLASS 6 ROAD BASE 95% COMPACTED SUBGRADE (TYP.) 1. INSTALLATION OF THIS CART AND ASSOCIATED TRACK SHALL BE DONE BY COLORADO AND WYOMING RAILWAY 2. ALL DIMENSIONS AND DETAILS SHALL BE VERIFIED BY THEM AND THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION SECTION VIEW

RAIL ROLLER PLAN AND SECTION N.T.S.

STEELWORKS PARK
ARTIFACT DETAILS
215 CANAL STREET
PUEBLO, COLORADO 81004

DATE: 01-18-17 PROJECT NO: 7523-001

DRAWN BY: BAP CHECKED BY: JKG

GENERAL STRUCTURAL NOTES

- 1.ENGINEER'S ACCEPTANCE MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
- 2.PROVIDE ALL EMBEDDED ITEMS IN STRUCTURE AS NOTED ON ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS. MISCELLANEOUS EMBEDDED ITEMS AND ANCHOR BOLTS SHALL BE FURNISHED BY STEEL SUPPLIER AND INSTALLED BY CONCRETE CONTRACTOR. STEEL SHALL FULFILL ASTM A36.
- 3.PROVIDE ASPHALTIC MAST-COATING ON ALL STEEL EXPOSED TO THE EARTH.
- 4.SUBMIT SHOP AND ERECTION DRAWINGS TO ENGINEER FOR REVIEW OF ALL REINFORCING. THE MANUFACTURE OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN REVIEW OF SHOP DRAWINGS WILL BE ENTIRELY AT THE RISK OF THE CONTRACTOR.
- 5.SHOP DRAWINGS REQUIRED BY THE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. MINIMUM ENGINEER REVIEW TIME IS 14 WORKING DAYS BEFORE RETURN TO THE GENERAL CONTRACTOR. SHOP DRAWINGS WILL BE REJECTED FOR INCOMPLETENESS, LACK OF CALCULATIONS (IF REQUIRED) OR CHANGE WITHOUT RE—REVIEW. DELAY IN PROCESS SHOP DRAWINGS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 6.GENERAL AND SUBCONTRACTORS SHALL REVIEW AND STAMP ALL SHOP DRAWINGS PRIOR TO REVIEW BY THE ARCHITECT. SHOP DRAWINGS SHALL BE REVIEWED FOR COMPLETENESS AND COMPLIANCE TO THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL CLEARLY FLAG ANY DEVIATION AND MAKE WRITTEN REQUEST TO THE ARCHITECT FOR APPROVAL OF ANY MODIFICATION. ALL MODIFICATIONS MUST BE PRE—REVIEWED BEFORE SHOP DRAWINGS ARE PROCESSED AND RESUBMITTED WITH SHOP DRAWINGS FOR FINAL APPROVAL.
- 7.ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON BEST INFORMATION CURRENTLY AVAILABLE AT THE TIME OF PREPATATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED AS TO THE ACCURACY OF SAME HOWEVER, AND CONTRACTOR IS TO FIELD VERIFY ALL CONDITIONS. SHOULD CONDITIONS BECOME APPARENT WHICH DIFFER FROM THE CONDITIONS SHOWN HEREIN THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. THE ARCHITECT WILL THEN PREPARE ADDITIONAL DOCUMENTS AS MAY BE NEEDED TO ACCOMMODATE THE CONDITIONS AS BROUGHT TO THEIR ATTENTION.
- 8.ARCHITECTURAL AND MECHANICAL PLANS ARE CONSIDERED A PART OF THE STRUCTURAL DESIGN DRAWINGS AND ARE TO BE USED TO DEFINE DETAIL CONFIGURATIONS INCLUDING, BUT NOT LIMITED TO, RELATIVE LOCATION OF MEMBERS, ELEVATION, LOCATION OF ALL OPENINGS, ETC.
- 9.THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- 10. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND STRUCTURAL ENGINEER DO NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OF THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION. ANY SUPPORT SERVICES PERFORMED BY OTHERS. THESE SUPPORT SERVICES WHICH ARE FURNISHED BY THE ARCHITECT AND STRUCTURAL ENGINEERING, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH CONTRACT DRAWINGS, AND SPECIFICATIONS; BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUCTOR AS SUPERVISION OF CONSTRUCTION.
- 11. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO REVIEW BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- 12. DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK SITE. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. ANY DEVIATION MUST BE APPROVED BY GOVERNING AGENCY PRIOR TO ERECTION.
- 13.ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA PRIOR TO ERECTION.
- 14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.

GOVERNING DESIGN CODES

- GOVERNING DESIGN CODES:
 A. 2009 INTERNATIONAL BUILDING CODE
 - B. ASCE 7-05
- 2. LIVE AND DEAD LOADS USED IN DESIGN:
- A. SLAB ON GRADE LOADS (TYPICAL)
 - 1. UNIFORM LIVE LOAD (ENTRY SLABS). 100 PSF a. REDUCED PER CODE NO
 - 2. DEAD LOAD (STRUCTURE) SELF WEIGHT

SEISMIC (PER ASCE 7-05) (LADLE DISPLAY)
1. OCCUPANCY CATEGORY
2. IMPORTANCE FACTOR
3. SPECTRAL RESPONSE ACCELERATIONS SS = 0.189
4. SITE CLASSIFICATION
5. SITE COEFFICIENTS SDS = 0.202
6. SEISMIC DESIGN CATEGORY
7.SEISMIC ANALYSIS PROCEDURE: RIGID NON-BUILDING STRUCTURES

CONCRETE

- 1. ALL CONCRETE WORK AND REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 318-LATEST EDITION. UNLESS NOTED OTHERWISE ALL EXPOSED EDGES OF CONCRETE WORK SHALL HAVE 3/4" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR MAY POUR SLABS-ON-GRADE CONTINUOUS AND SAWCUT (TOOL) JOINTS. SAWCUT JOINTS SHALL BE SPACED 12 FEET MAXIMUM UNLESS OTHERWISE NOTED ON DRAWINGS. JOINTS SHALL BE MIN. ¼ SLAB THICKNESS DEEP x 1/8" WIDE WITHIN 12 HOURS AFTER POURING. CARRY ALL SLAB REINFORCEMENT THROUGH JOINT UNLESS OTHERWISE NOTED.
- 3. SLABS AND WALLS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THIRD POINTS OF SPAN WITH VERTICAL BULKHEADS AND HORIZONTAL SHEAR KEYS UNLESS OTHERWISE SHOWN. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE ENGINEER.
- 4. KEYED CONSTRUCTION JOINTS FOR SLABS—ON—GRADE SHALL BE USED IN ALL CASES. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED AND ALL LAITANCE SHALL BE REMOVED. ALL VERTICAL JOINTS SHALL BE THOROUGHLY WETTED AND SLUSHED WITH A COAT OF LEAN CEMENT.

USE	28 DAY f'c (PSI MIN.)	CEMENT TYPE	MAX W/C	MAX AGGREGATE (IN.)	TOTAL AIR (%)	SLUMP (IN.)	NOTES
SLABS, WALLS	4,500	1/11	0.44	3/4	6-8	3-5	

NOTES:

- 1. CALCIUM CHLORIDE SHALL NOT BE USED
- 2. CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING AND PLACEMENT
- 3. CONTRACTOR TO PROVIDE CONCRETE TESTING PER IBC TABLE 1705.3, ITEMS 5 AND 6

FOUNDATIONS / FOOTINGS

- 1. ALL WALL STEM BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS
- 2. ALL WALLS AND SLABS ARE TO BE PLACED ON UNDISTURBED NATIVE SOILS OR PROPERLY COMPACTED MOISTURE CONDITIONED BACKFILL. BACKFILL SHALL BE COMPACTED TO 95% (MINIMUM) STANDARD PROCTOR DENSITY UNLESS OTHERWISE RECOMMENDED BY A SOILS ENGINEER.
- 3. FOOTINGS AND SLABS ARE DESIGNED ASSUMING 1,500 PSF SOIL BEARING PRESSURE IN THE ABSENCE OF A SOILS INVESTIGATION. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A QUALIFIED SOILS ENGINEER TO INSPECT THE EXCAVATED CONDITIONS TO VERIFY THAT EXCAVATIONS ARE TO UNDISTURBED MATERIAL OR COMPACTED FILL, AND ARE APPROPRIATE FOR SURFACE SLABS AND SHALLOW GRADE WALLS PER THE DRAWINGS.

REINFORCEMENT

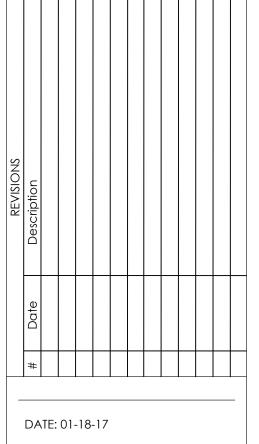
- 1. ALL REINFORCING SHALL BE HIGH-STRENGTH DEFORMED BARS CONFORMING TO ASTM GRADE
- 2. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED ONE FULL MESH AT SIDE AND END SPLICES AND WIRED TOGETHER.
- 3. REINFORCEMENTS PROTECTION:
- 3.2. CONCRETE POURED IN FORMS (EXPOSED TO WEATHER OR EARTH). 2"
- 4. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER.

 LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 42 BAR DIAMETERS UNLESS OTHERWISE NOTED. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
- 5. PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING AT POSITIONS SHOWN ON THE PLANS. ALL REINFORCEMENT TO BE HELD SECURELY IN PROPER POSITION IN ACCORDANCE WITH ACI 318 LATEST EDITION.
- 6. NO HEATING SHALL BE ALLOWED FOR BENDING OF REINFORCING STEEL UNLESS REVIEWED BY ARCHITECT AND STRUCTURAL ENGINEER.



STEELWORKS PARK
STRUCTURAL NOTES
215 CANAL STREET
PUEBLO, COLORADO 81004





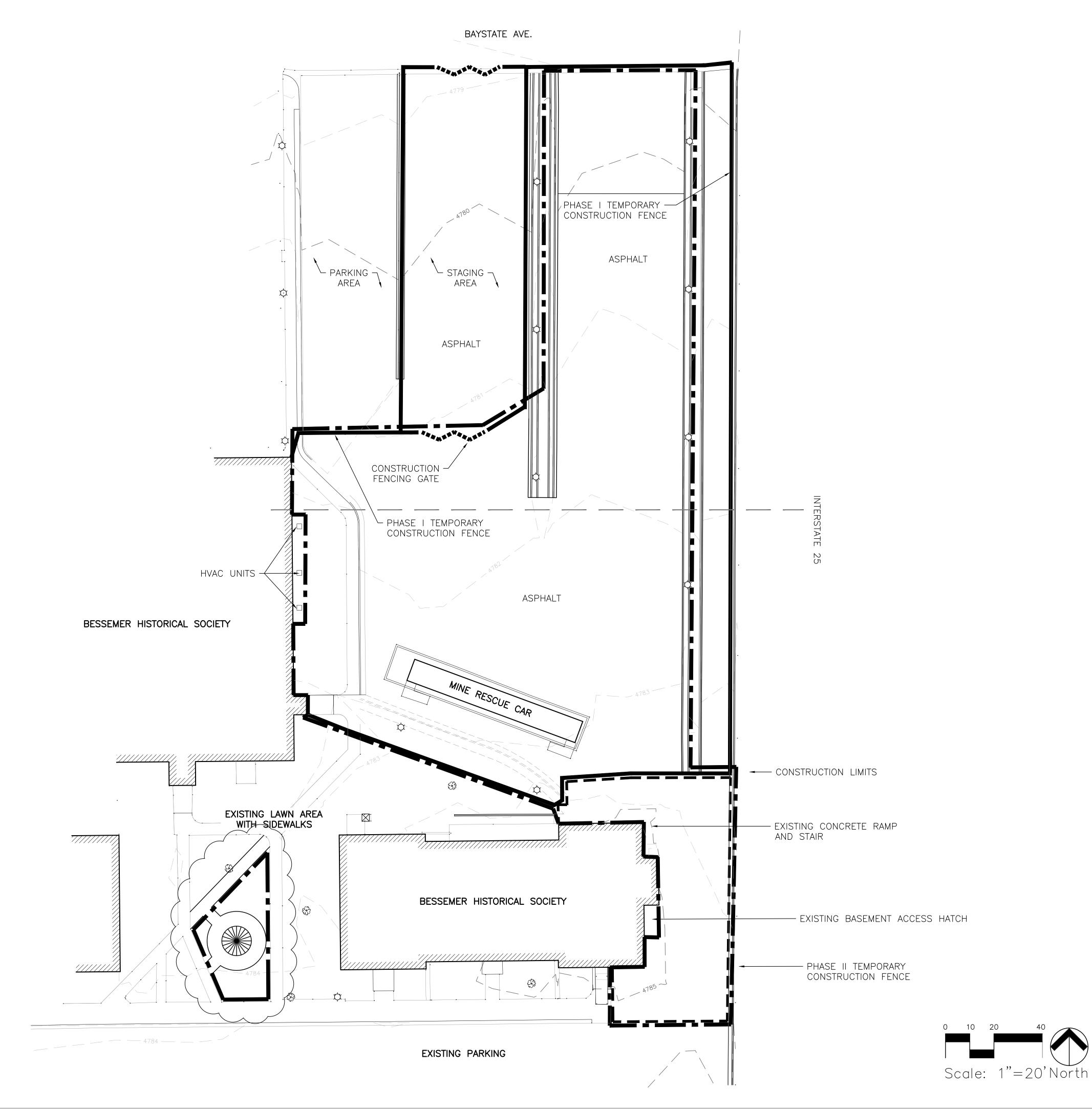
17 OF 17

PROJECT NO: 7523-001

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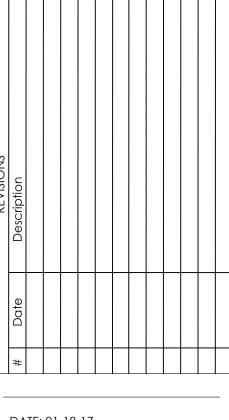
- 1. CONSTRUCTION FENCE SHALL REMAIN ON THE PROPERTY AND FOLLOW THE LIMITS DESCRIBED ON THESE PLANS.
- 2. CONSTRUCTION STAGING SHALL TAKE PLACE ON 215 CANAL ST., PUEBLO, CO.
- 3. ANYWHERE THE CONSTRUCTION FENCE SHOWN ENCOUNTERS A BUILDING WALL OR IMPASSABLE SURFACE, SAID SURFACE SHALL BE USED IN LIEU OF THE CONSTRUCTION FENCING.
- 4. ALL TEMPORARY CONSTRUCTION FENCING, RELATED COMPONENTS AND RELATED DEBRIS SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- 5. FENCING TO BE INSTALLED AND REMOVED BY THE CONTRACTOR.
- 6. CONTRACTOR SHALL MAINTAIN 6' CHAIN LINK TEMPORARY FENCE AND TREE PROTECTION FENCE ON A BI-WEEKLY BASIS. MAINTENANCE WILL INCLUDE WALKING THE PERIMETER OF THE TEMPORARY FENCE AND REPAIRING OR ADJUSTING FENCE AND/OR SUPPORTS AS NEEDED TO MAINTAIN SECURITY.
- 7. PHASE I CONSTRUCTION FENCE SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION AND SHALL REMAIN IN PLACE UNTIL THE PROJECT IS COMPLETE. PHASE II CONSTRUCTION FENCE SHALL BE INSTALLED STRICTLY FOR THE DEMOLITION AND CONSTRUCTION OF THE NEW ENTRANCE STAIRS AND ADA RAMP. CLOSED ACCESS OF THE MAIN MUSEUM ENTRANCE SHALL BE KEPT TO A MINIMUM.
- 8. CONTRACTOR SHALL GIVE OWNER 10 DAYS NOTICE PRIOR TO THE INSTALLATION OF PHASE II CONSTRUCTION FENCE.
- 9. CONTRACTOR IS RESPONSIBLE FOR THE COST OF ALL DAMAGES TO EXISTING CONDITIONS INCLUDING DAMAGE CREATED BY CONSTRUCTION FENCE TO LAWN, MEDIANS, ASPHALT AND IRRIGATION.
- 10. CONSTRUCTION FENCING SHALL BE INSTALLED ON THE WEST SIDE OF THE EXISTING CHAIN LINK FENCE ADJACENT TO THE EAST PROPERTY LINE.
- 11. NO WORK WILL TAKE PLACE OUTSIDE BHS/STEELWORKS PROPERTY.



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Aurora, Colorado 80014
303-770-7201 FAX 770-7132
Planning. Landscape Architecture.Market Research
Julie Gamec, LEED AP BD+C, Assoc. Al/

STEELWORKS PARK
CONSTRUCTION FENCING PI





DATE: 01-18-17

PROJECT NO: 7523-001

DRAWN BY: BAP CHECKED BY: JKG