

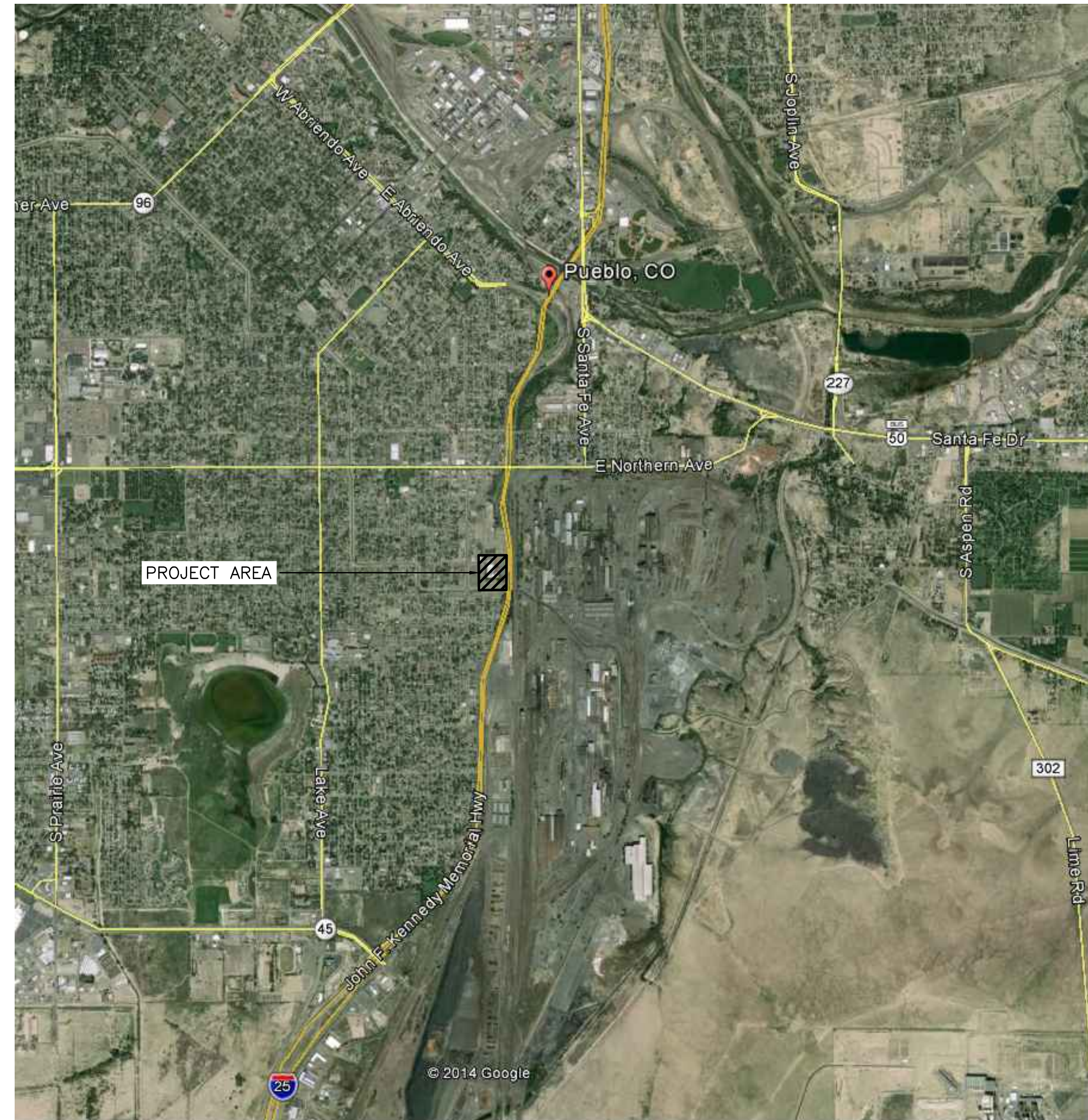
# STEELWORKS PARK

PUEBLO, CO

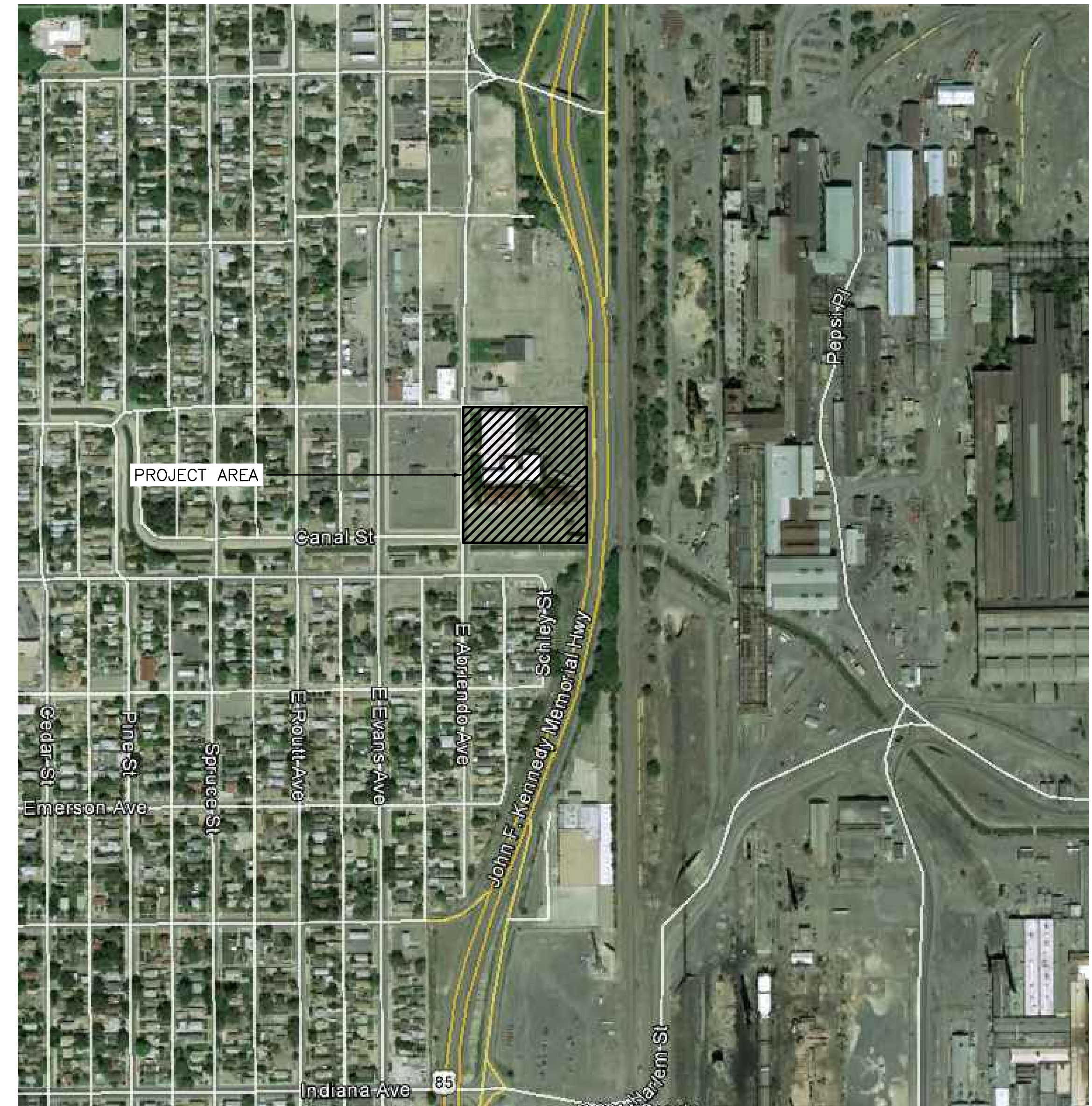
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14-16	DETAILS
17	STRUCTURAL NOTES

### CONTEXT MAP:



N.T.S.



N.T.S.

### GENERAL NOTES:

- CONTRACTOR SHALL RECEIVE FINAL APPROVAL FROM THE LANDSCAPE ARCHITECT AT CONTRACT COMPLETION. ALL WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- NO HEAVY EQUIPMENT WILL BE PERMITTED ON NEW CONCRETE OR PLAZA SURFACE AFTER INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EROSION AND SEDIMENT CONTROL PLAN. THE E&S WILL SHOW CONSTRUCTION AND PERMANENT BEST MANAGEMENT PRACTICES FOR STORMWATER, EROSION CONTROL, SEDIMENT CONTROL, WASTE AND POLLUTION CONTROL, ETC. SEE SHEET 3 FOR ADDITIONAL INFORMATION.



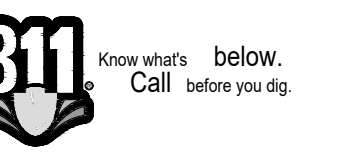
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STEELWORKS PARK

TITLE PAGE

215 CANAL STREET  
 PUEBLO, COLORADO 81004



REVISIONS

Description

#

Date

DATE: 01-18-17

PROJECT NO: 7523-001

DRAWN BY: BAP

CHECKED BY: JKG



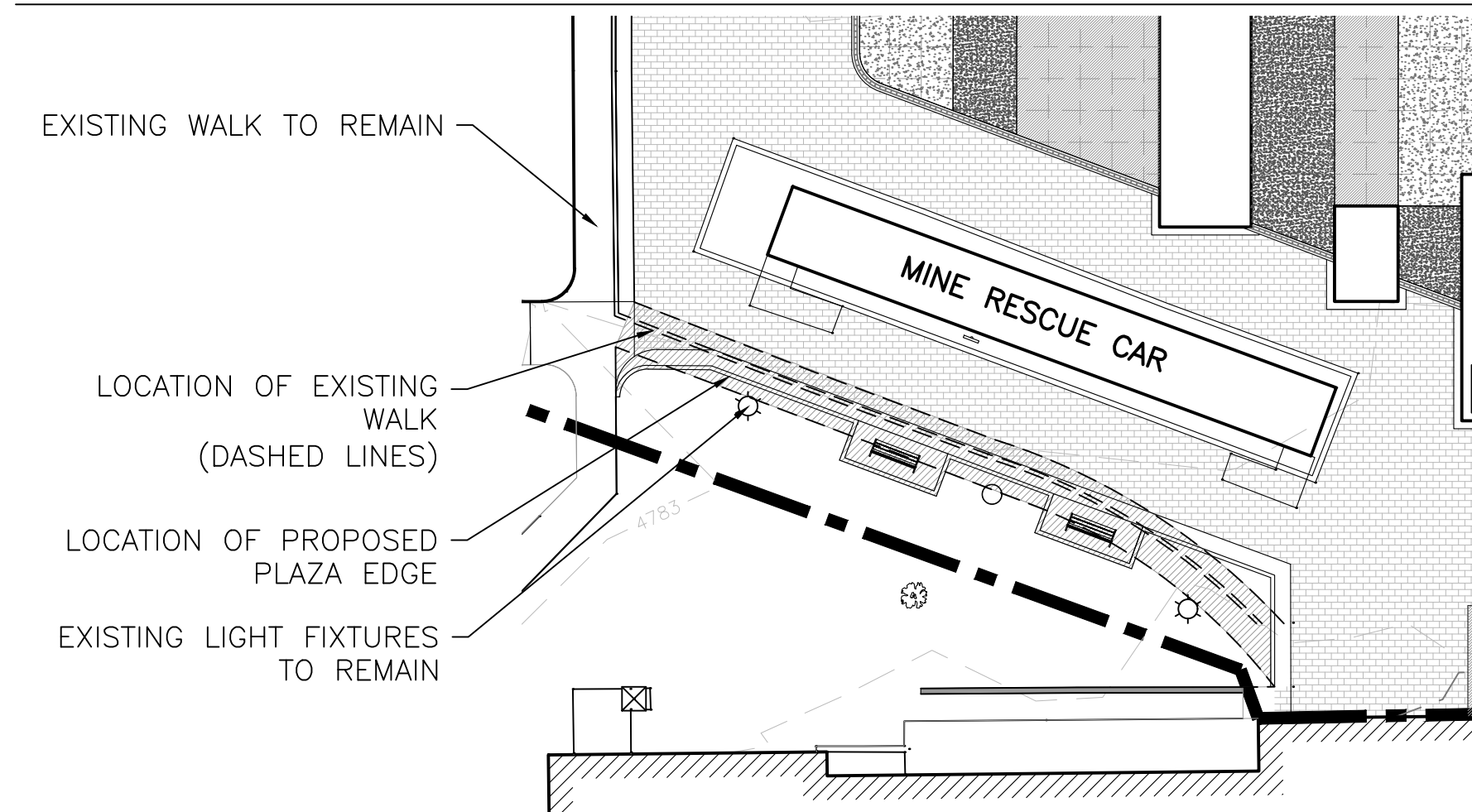
NOTES:

- ALL EXISTING TREES, ARTIFACTS, HARDSCAPE, LANDSCAPE AND LIGHT FIXTURES ON SITE ARE TO REMAIN IN PLACE AND IN GOOD CONDITION UNLESS NOTED ON THE DEMOLITION PLAN.
- EXISTING INFRASTRUCTURE TO REMAIN IN GOOD WORKING CONDITION THROUGHOUT THE DEMOLITION PROCESS. ANY DAMAGE CAUSED BY THE CONTRACTOR WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR THE REPAIR.
- REMOVE ALL PAVING, CONCRETE AND LANDSCAPE MATERIAL INCLUDING MULCH, SOD, ROCK MULCH, PLANT MATERIAL AND WEED FABRIC FROM AREAS NOTED ON THE DEMOLITION PLAN. REMOVE ANY OTHER DEBRIS NOT SHOWN THAT WILL CONFLICT WITH CONSTRUCTION.
- INFORM LANDSCAPE ARCHITECT OR OWNER IMMEDIATELY IF EXISTING SITE CONDITIONS VARY FROM PLAN.
- ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS APPROVED FOR REUSE ON THE SITE BY THE OWNER.
- THE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE AND OR LOCAL LAWS AND ORDINANCES.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL.
- EXISTING STRUCTURES, FENCES, TREES, LIGHT FIXTURES ETC., TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE. ALL DAMAGES SHALL BE RESTORED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES.
- ANY UTILITIES ARE TO REMAIN IN SERVICE SHALL BE PROTECTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL DEBRIS TRACKED, DUMPED, SPILLED OR WIND BLOWN FROM THIS SITE ONTO OTHER SITES. THE CONTRACTOR MUST CLEAN OR PICK UP DAILY IF NECESSARY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL THE UTILITY COMPANIES 72 HOURS BEFORE DEMOLITION IS TO BEGIN AND VERIFY UTILITY LOCATES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL FEDERAL, STATE, COUNTY, CITY, AND LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED.
- THE EXTENT OF THE DEMOLITION SHOWN HEREIN IS PROVIDED TO INDICATE THE GENERAL LOCATION AND NATURE OF REQUIRED DEMOLITION WORK. THESE DRAWINGS MAY NOT REFLECT ALL EXISTING FIELD CONDITIONS. THE CONTRACTOR SHALL COORDINATE AND ADJUST THE LIMITS OF CONSTRUCTION NECESSARY TO ACCOMPLISH THE FINAL PRODUCT AS SHOWN ON THE PLANS.
- NO ACCESS, STORAGE OR CONSTRUCTION RELATED ACTIVITIES SHALL OCCUR OUTSIDE OF THE CONSTRUCTION LIMITS.
- ALL ITEMS DESIGNATED TO BE STOCKPILED SHALL BE CAREFULLY REMOVED, PROTECTED FROM DAMAGE, STOCKPILED, AND REINSTALLED AS DESIGNATED ON THE PLANS. ANY DAMAGE INCURRED ON STOCKPILED ITEMS SHALL BE RESTORED, RECONSTRUCTED, OR REPLACED TO AT LEAST THE ORIGINAL CONDITION BY THE CONTRACTOR AT HIS EXPENSE.
- ON WESTERN PROPERTY BOUNDARY, THE EXISTING CHAIN LINK FENCE IS THE PROPERTY LINE.
- NO WORK WILL TAKE PLACE OUTSIDE BHS/STEELWORKS PROPERTY.

STORMWATER MANAGEMENT AND BMP'S

- CONTRACTOR SHALL PREPARE STORMWATER MANAGEMENT PLANS USING BEST MANAGEMENT PRACTICES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE A VEHICLE TRACKING PAD AT THE ENTRANCE TO THE CONSTRUCTION SITE.
- STREET SWEEPING SHALL OCCUR AS NEEDED ALONG BAYSTATE AVE. TO PREVENT THE TRANSPORTATION OF SEDIMENT OFF THE SITE.
- STORM DRAIN INLETS IN BAYSTATE AVE WILL BE PROTECTED FROM SEDIMENT AND DEBRIS ACCORDING TO BMP'S.
- PRIOR TO ANY CONSTRUCTION, INCLUDING SITE GRADING AND EXCAVATION, AN APPROVED 'EROSION AND SEDIMENT CONTROL PLAN' SHALL BE POSTED ON-SITE AND ALL REQUIRED BMP'S INSTALLED.
- GENERAL CONTRACTOR SHALL MAINTAIN AND UPDATE THE 'EROSION AND SEDIMENT CONTROL PLAN' AS CONSTRUCTION DICTATES. CURRENT AND CORRECT PLAN SHALL REMAIN ON-SITE AND BE READILY ACCESSIBLE TO THE CITY STORMWATER INSPECTOR AT ALL TIMES.
- GENERAL CONTRACTOR OR HIS REPRESENTATIVE SHALL INSPECT, AT A MINIMUM, THE SITE EVERY 2 WEEKS AND WITHIN 24 HOURS OF ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE EROSION. (I.E., THAT RESULTS IN STORMWATER RUNNING ACROSS THE GROUND).
- GENERAL CONTRACTOR/OWNER IS FULLY RESPONSIBLE TO MAINTAIN ALL REQUIRED BMP'S TO PREVENT EROSION AND SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- FAILURE TO COMPLY WITH MINIMUM REQUIREMENTS IS A VIOLATION WITH THE CITY ORDINANCES.

EXISTING WALK REMOVAL LIMITS



BAYSTATE AVE.

EXISTING CURB AND GUTTER TO REMAIN

EXISTING SIDEWALK TO REMAIN

EXISTING VINYL FENCE TO REMAIN

EXISTING LIGHT FIXTURES TO REMAIN (TYP.)

REMOVE DEBRIS AND EXTRA SOIL AS NEEDED TO ACCOMMODATE 4" ASPHALT OVER 2" THICK LAYER OF 1/2 INCH CRUSHED STONE/AGGREGATE. TOP OF ASPHALT SHALL BE IN LINE AND GRADE WITH PROPOSED PLAZA.

PROTECT FACE OF HISTORICAL BUILDING (TYP.)

HVAC UNITS TO REMAIN

BESSEMER HISTORICAL SOCIETY

CLEAR AND GRUB AREA FOR FUTURE PLANTING

REMOVE AND STOCKPILE EXISTING STEEL STAIR FOR REINSTALLATION

EXISTING LAWN AREA WITH SIDEWALKS

PROTECT MEMORIAL WALL

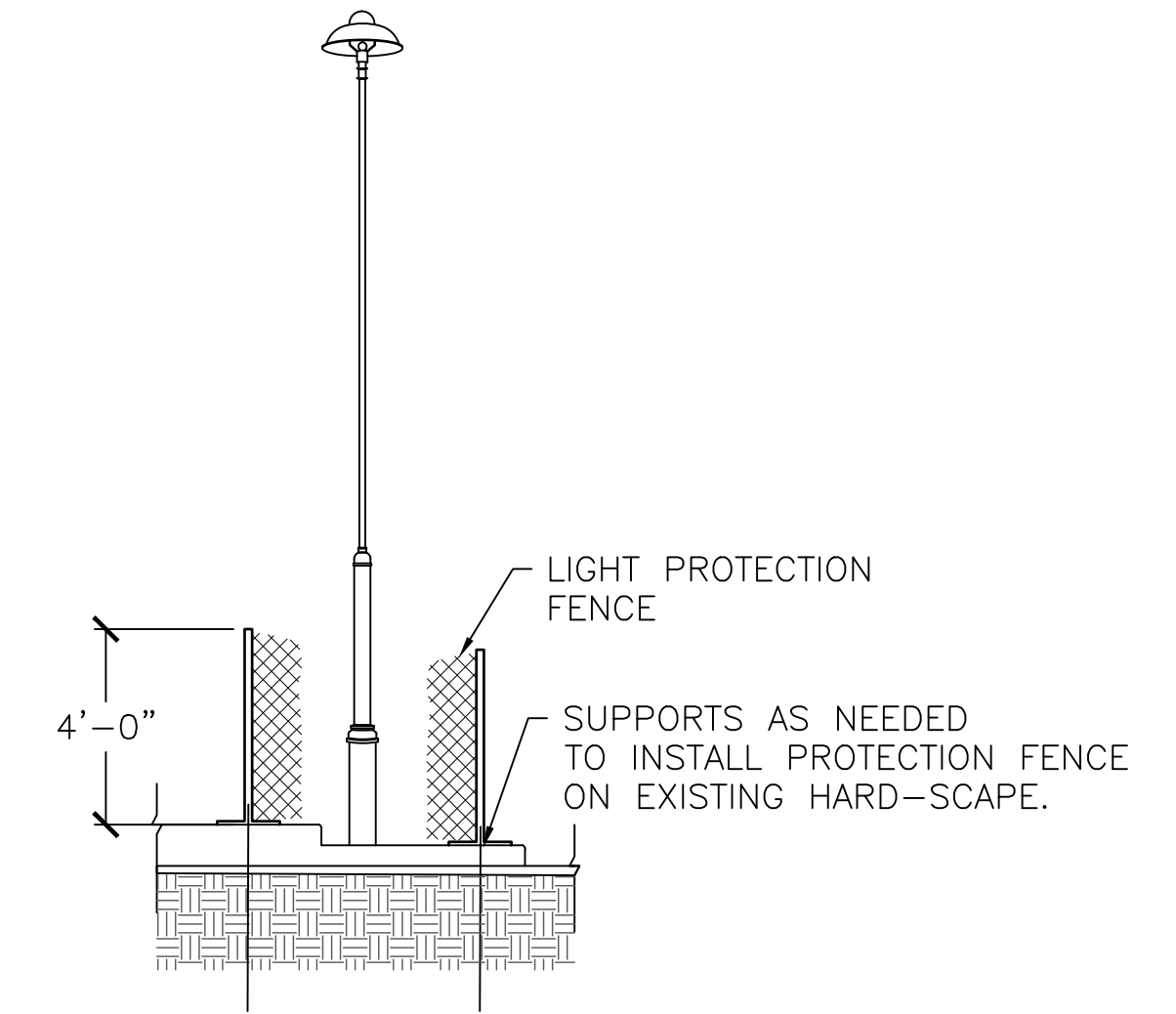
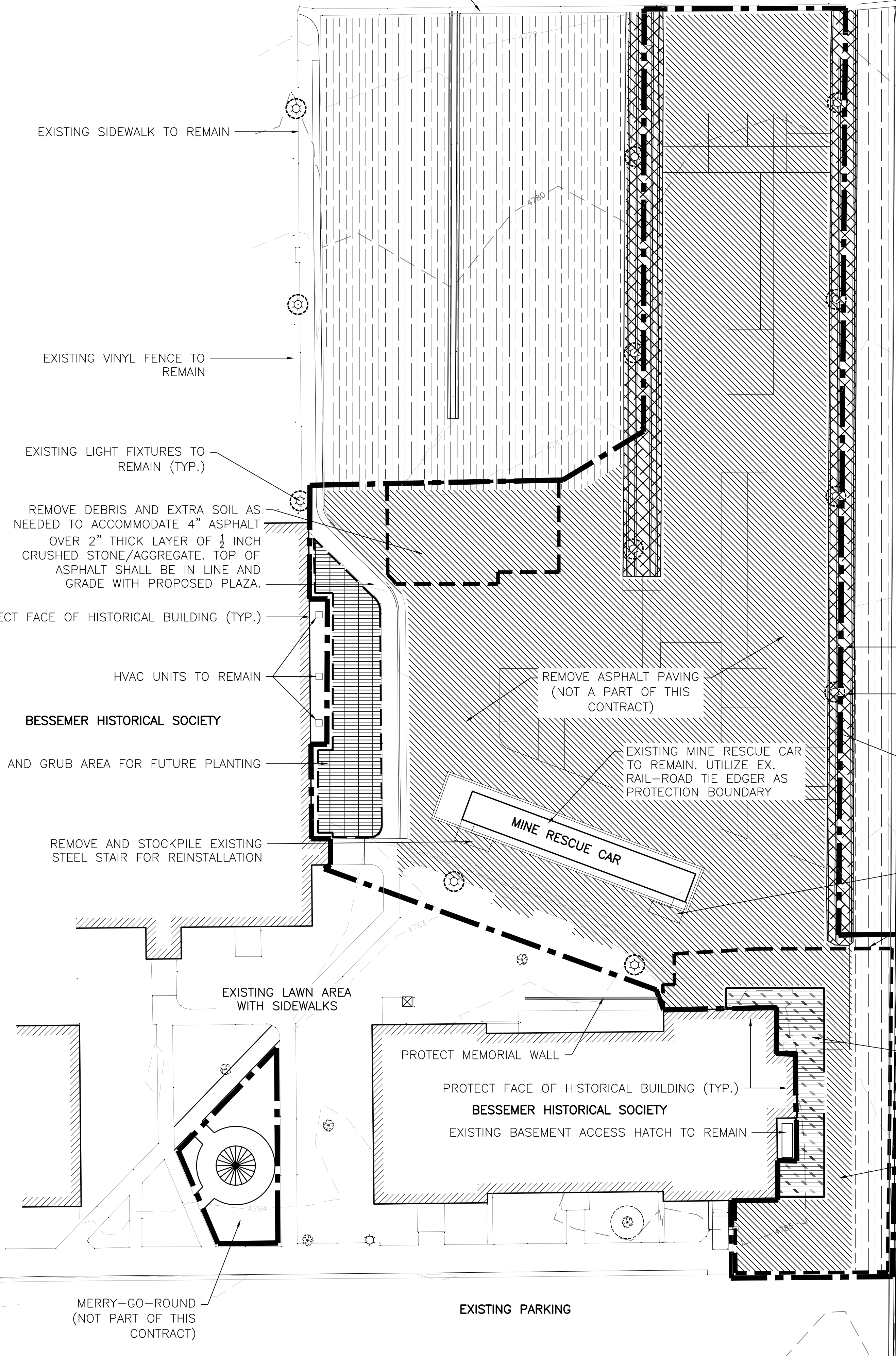
PROTECT FACE OF HISTORICAL BUILDING (TYP.)

BESSEMER HISTORICAL SOCIETY

EXISTING BASEMENT ACCESS HATCH TO REMAIN

MERRY-GO-ROUND (NOT PART OF THIS CONTRACT)

EXISTING PARKING



SIZE VARIES PER INDIVIDUAL LIGHT AND EXISTING CURB CONDITION.

NOTES:

- CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT OF FENCING TO PROTECT EXISTING LIGHT POLES
- NO DRILLING OR ADHESIVES WILL BE ALLOWED

(A) LIGHT PROTECTION DETAIL N.T.S.

EXISTING CHAIN LINK FENCE TO REMAIN (TYP.)

EXISTING CURB AND GUTTER TO REMAIN (TYP.)

EXISTING LIGHT FIXTURES TO REMAIN (TYP.)

PROTECT EXISTING CURB AND GUTTER

REMOVE AND STOCKPILE EXISTING STEEL STAIR FOR REINSTALLATION

PHASE II DEMOLITION AREA

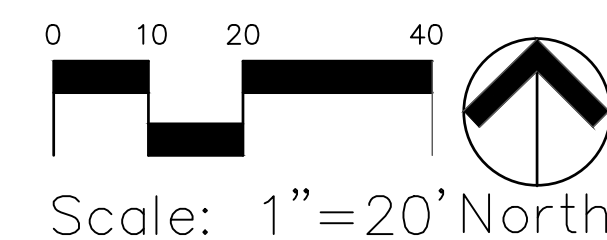
EXISTING CHAIN LINK FENCE TO REMAIN

REMOVE ENTRANCE STAIRS AND RAMP (AS A PART OF PHASE II)

REMOVE ASPHALT PAVING (NOT A PART OF THIS CONTRACT)

LEGEND:

- CONSTRUCTION LIMITS
- REMOVE ASPHALT PAVING/ CONCRETE SIDEWALK
- REMOVE ENTRANCE STAIRS AND RAMP AS PART OF PHASE II
- ROTO-MILL ASPHALT PAVING AND RESURFACE
- PROTECT EXISTING CURB AND GUTTER
- CLEAR AND GRUB
- LIGHT PROTECTION FENCE
- PHASE II DEMOLITION AREA



REVISIONS	Description	Date

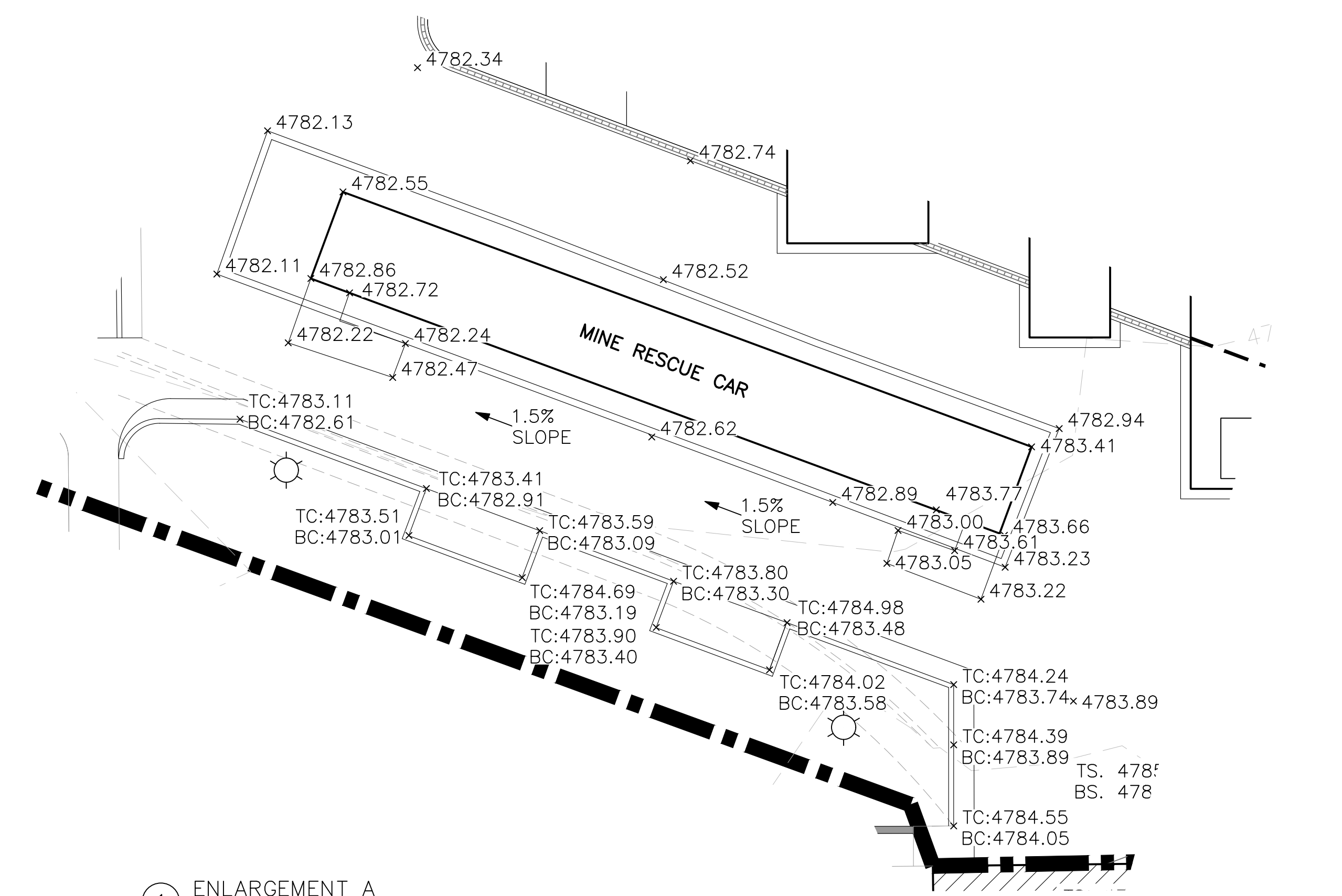
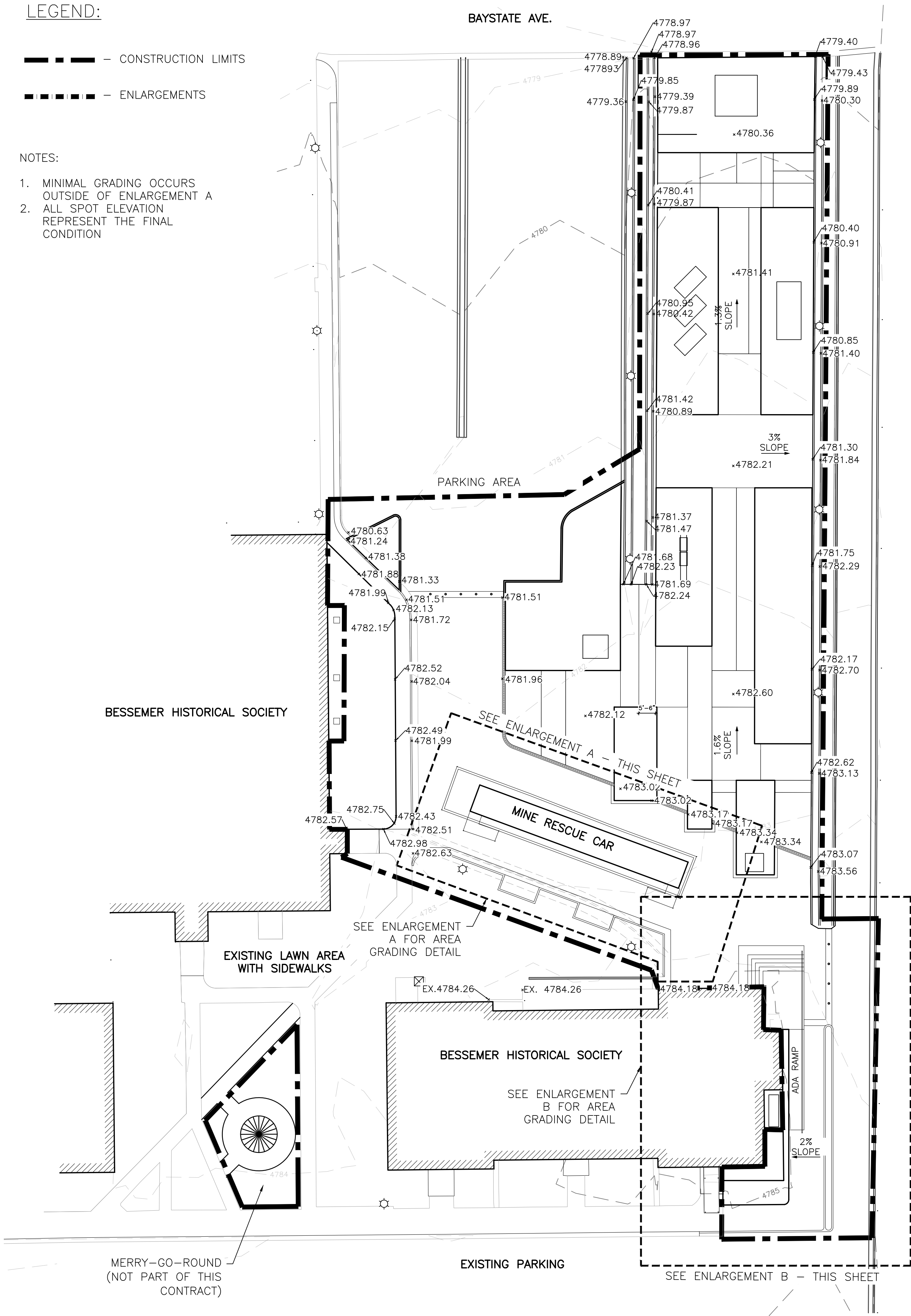
DATE: 01-18-17  
 PROJECT NO: 7523-001  
 DRAWN BY: BAP  
 CHECKED BY: JKG

**LEGEND:**

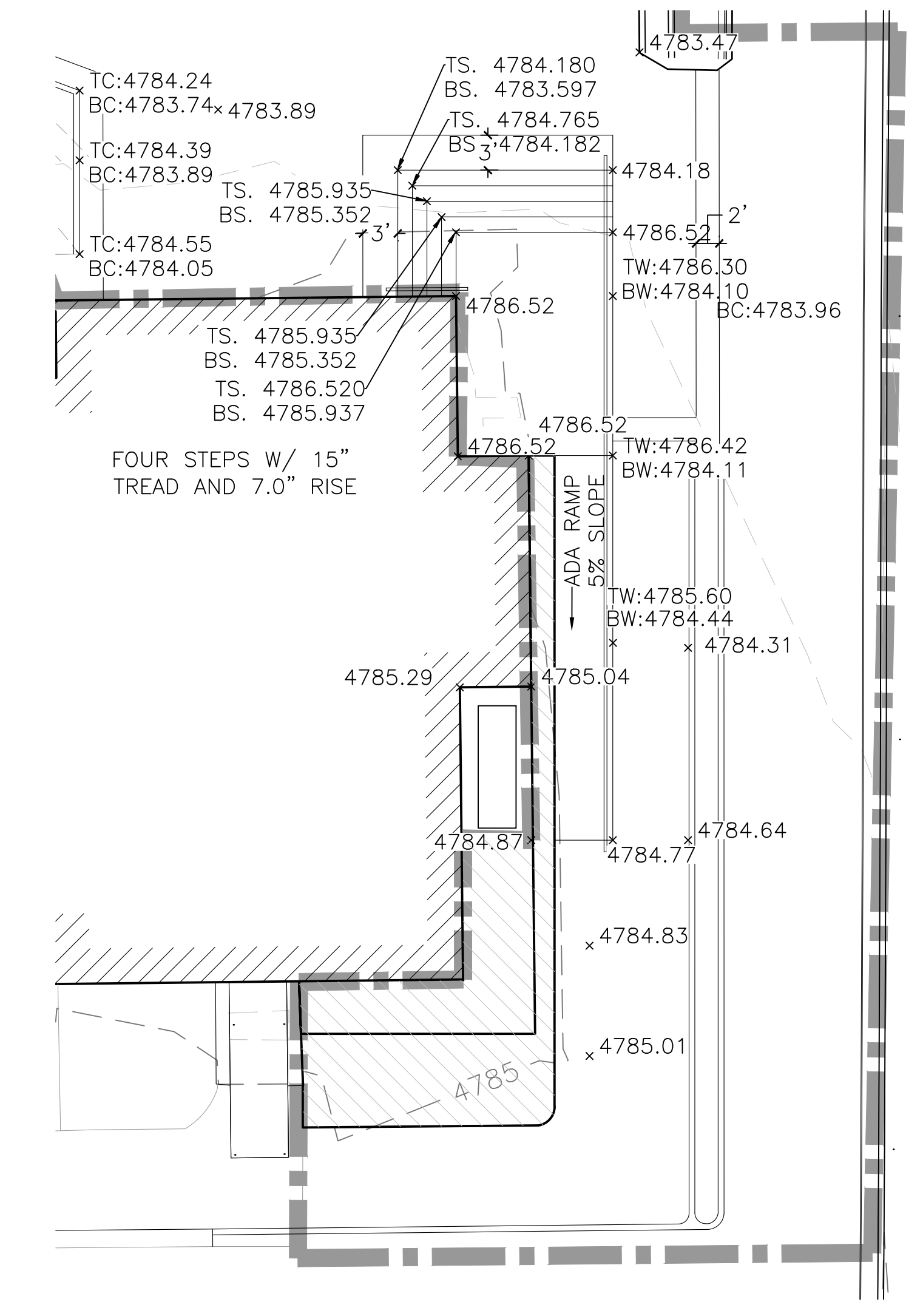
- CONSTRUCTION LIMITS
- ENLARGEMENTS

**NOTES:**

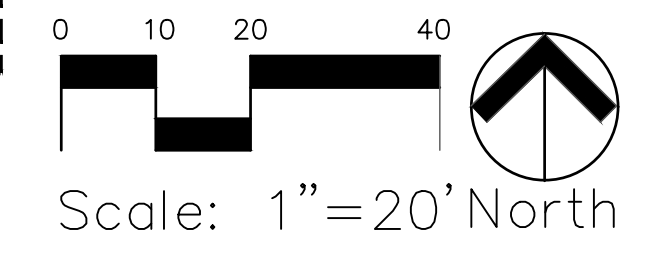
1. MINIMAL GRADING OCCURS OUTSIDE OF ENLARGEMENT A
2. ALL SPOT ELEVATION REPRESENT THE FINAL CONDITION



① ENLARGEMENT A  
1" = 10'-0"



① ENLARGEMENT B  
1" = 10'-0"


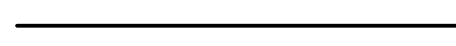


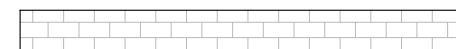



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LEGEND:

-  - CONSTRUCTION LIMITS
-  - PLANTERS
-  - EXPANSION JOINTS
-  - HISTORIC BRICK BAND RE: DETAIL G/14
-  - BRICK PAVED PLAZA RE: DETAIL F/14
-  - LANDSCAPE AREA

NOTES:

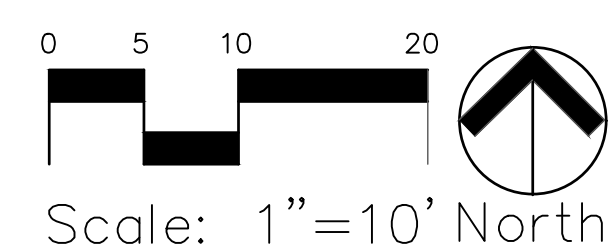
1. NO HEAVY EQUIPMENT SHALL BE USED TO RE-LOCATE ARTIFACT ON CONCRETE PAVERS

BESSEMER HISTORICAL SOCIETY

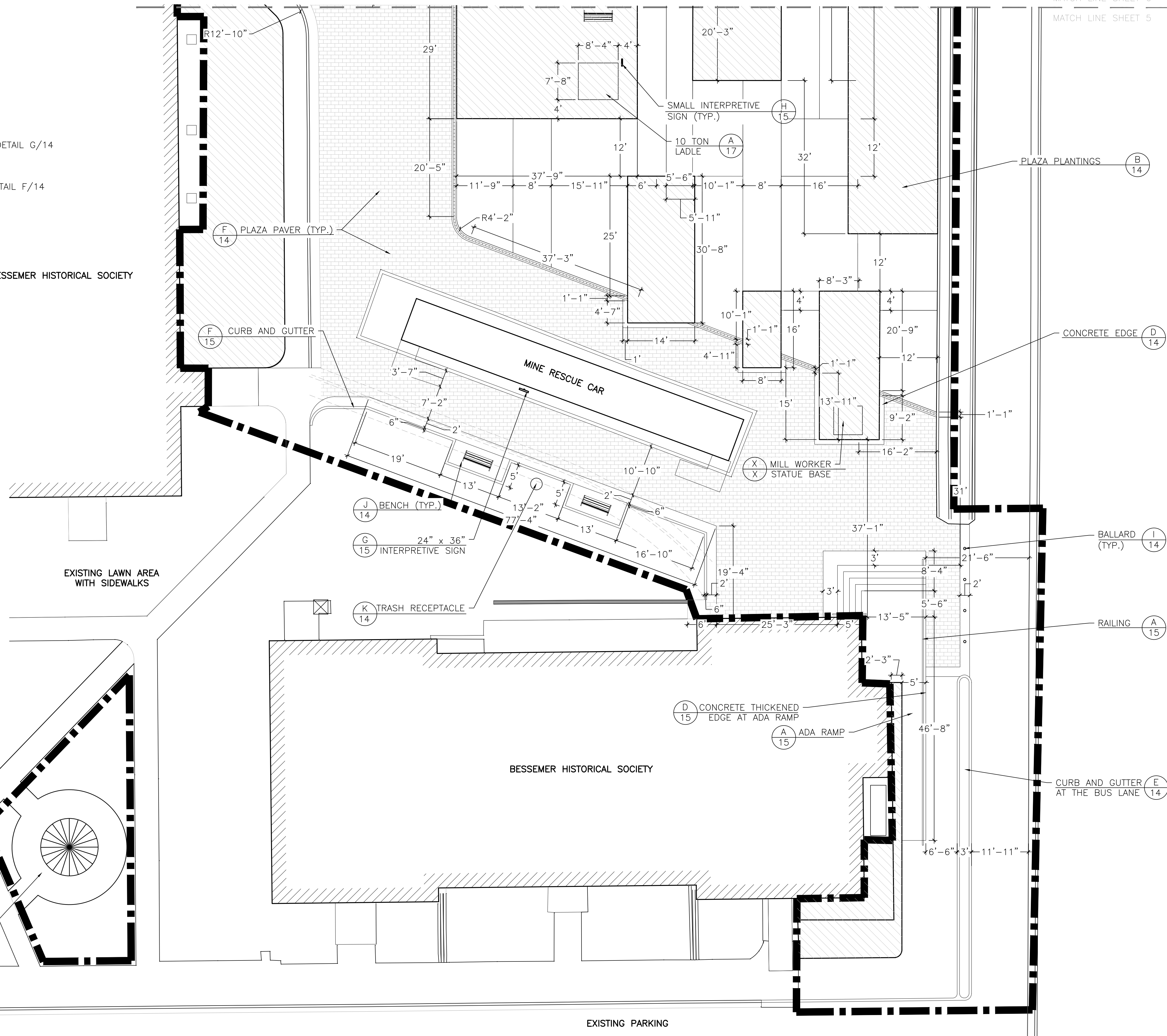
EXISTING LAWN AREA WITH SIDEWALKS

BESSEMER HISTORICAL SOCIETY

EXISTING PARKING



MERRY-GO-ROUND  
(NOT PART OF THIS CONTRACT)



MATCH LINE SHEET 6  
MATCH LINE SHEET 5

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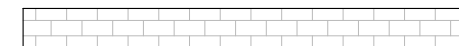

**STEELWORKS PARK  
LAYOUT PLAN**  
215 CANAL STREET  
PUEBLO, COLORADO 81004



REVISIONS	Description	Date
#		

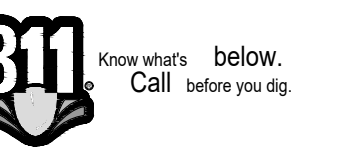
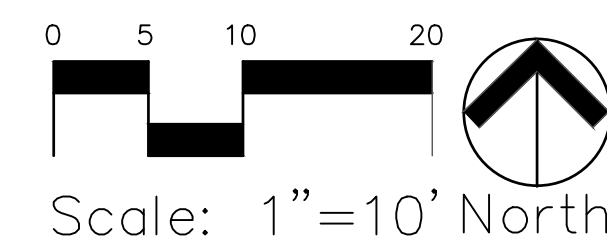
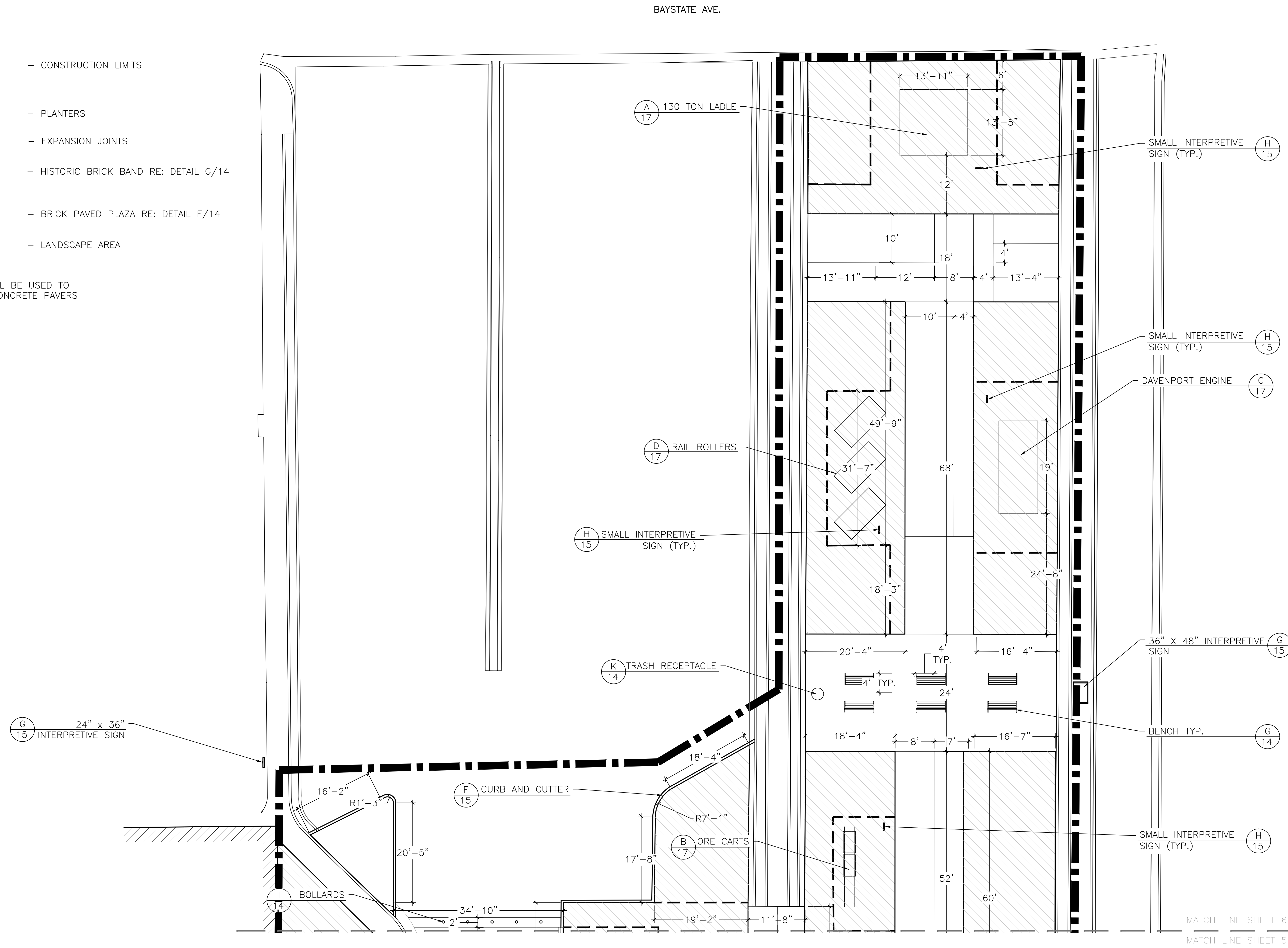
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LEGEND:

-  - CONSTRUCTION LIMITS
-  - PLANTERS
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-  - HISTORIC BRICK BAND RE: DETAIL G/14
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NOTES:

1. NO HEAVY EQUIPMENT SHALL BE USED TO RE-LOCATE ARTIFACT ON CONCRETE PAVERS



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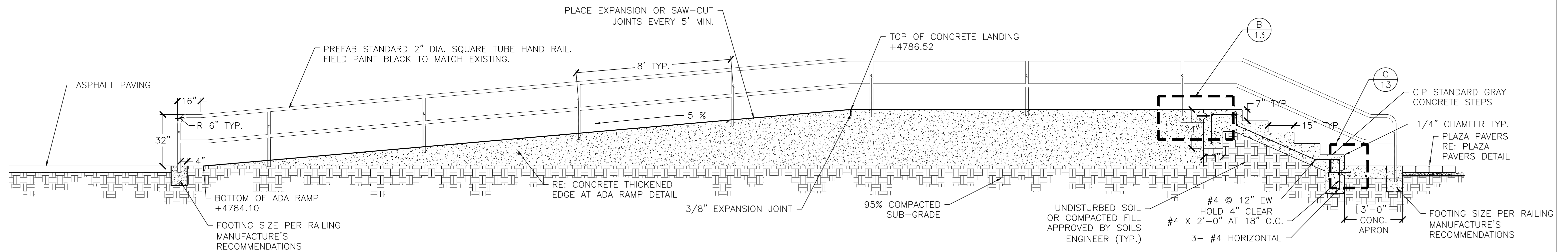




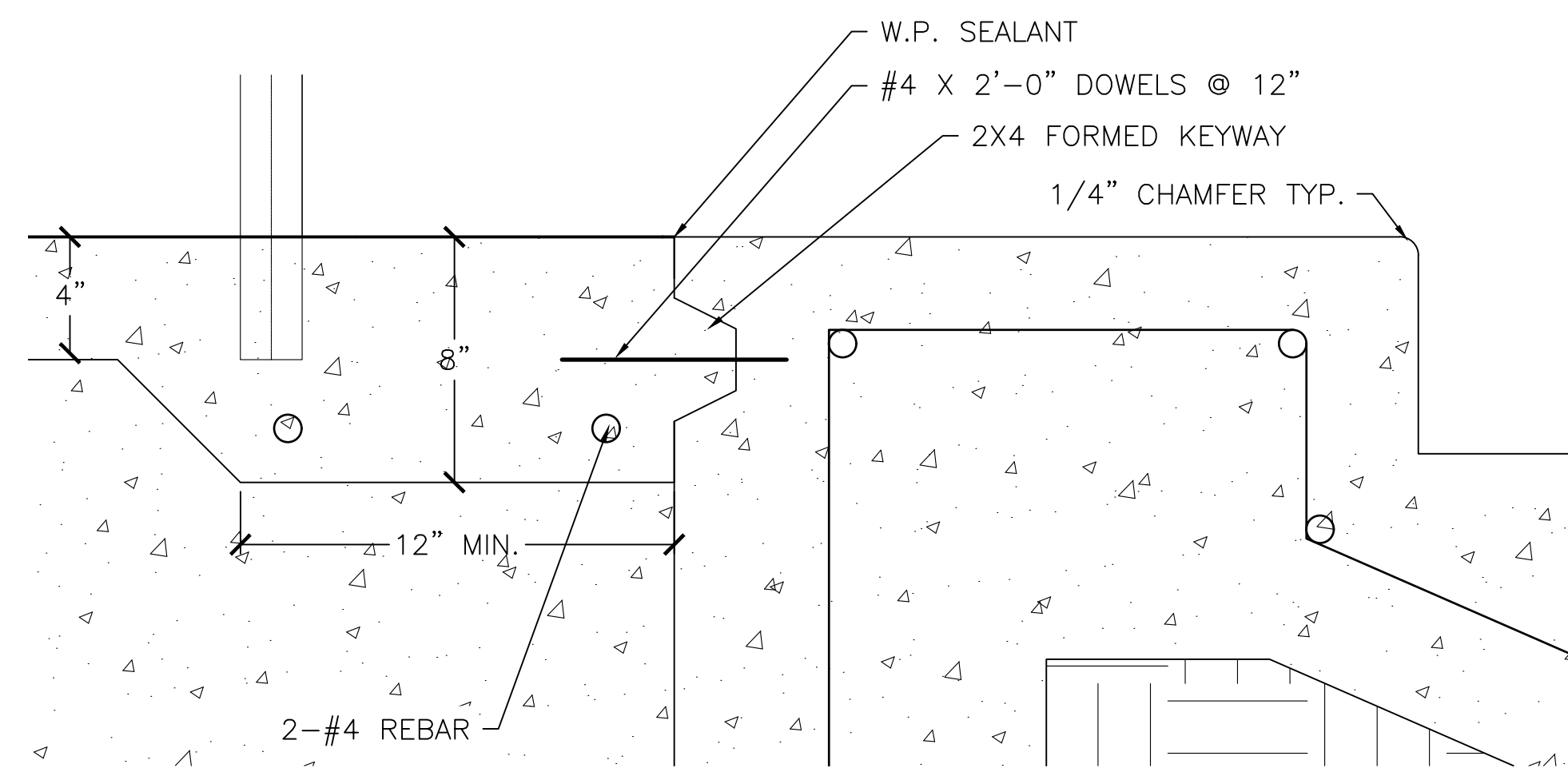




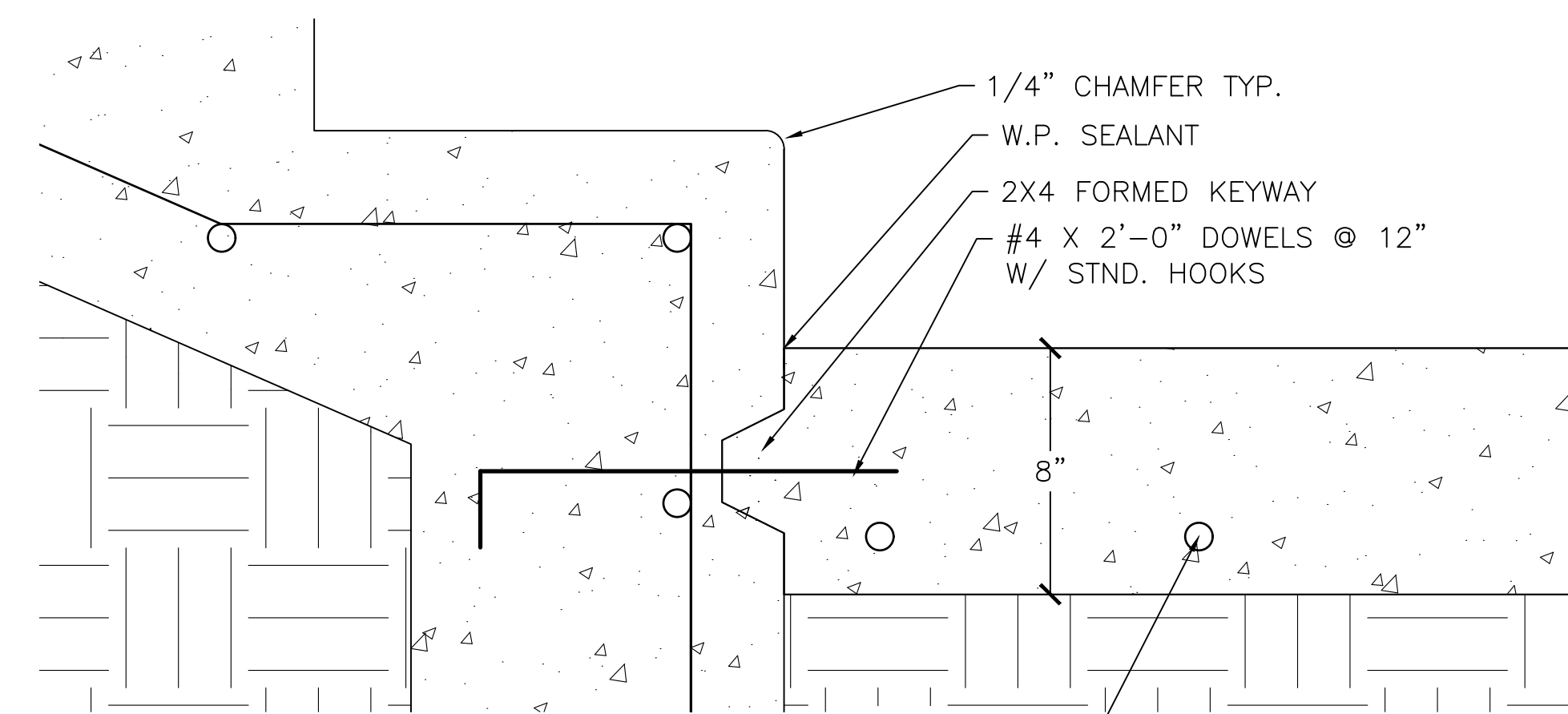




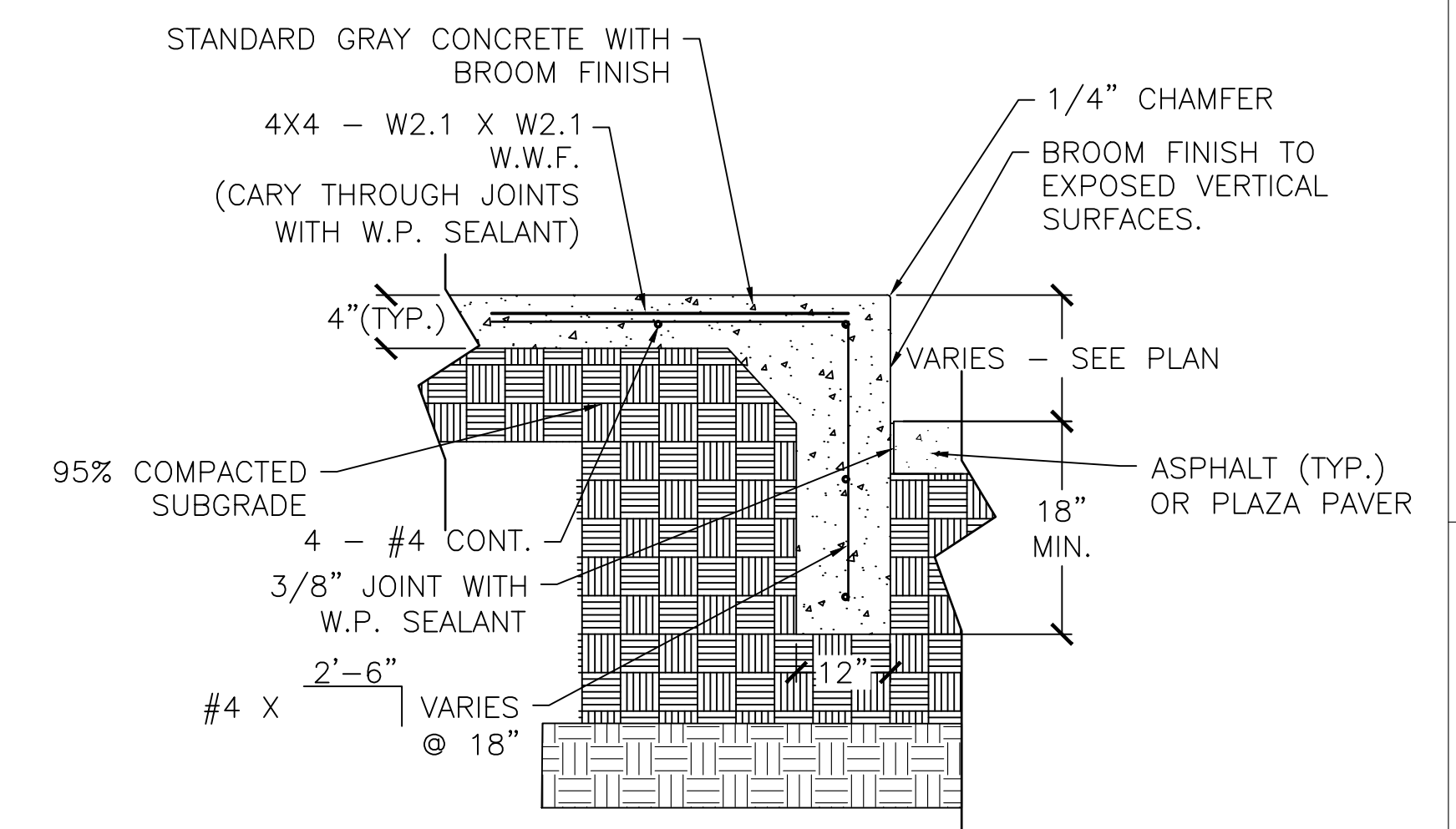
A ENTRYWAY STAIRCASE AND ADA RAMP  
N.T.S.



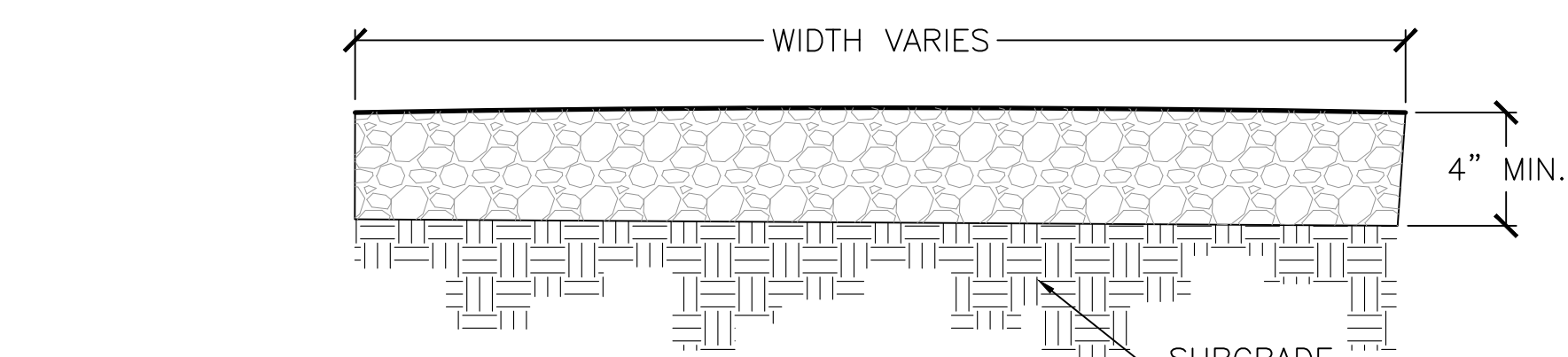
B TOP STAIR/LANDING ENLARGEMENT  
N.T.S.



C BOTTOM STAIR/LANDING ENLARGEMENT  
N.T.S.

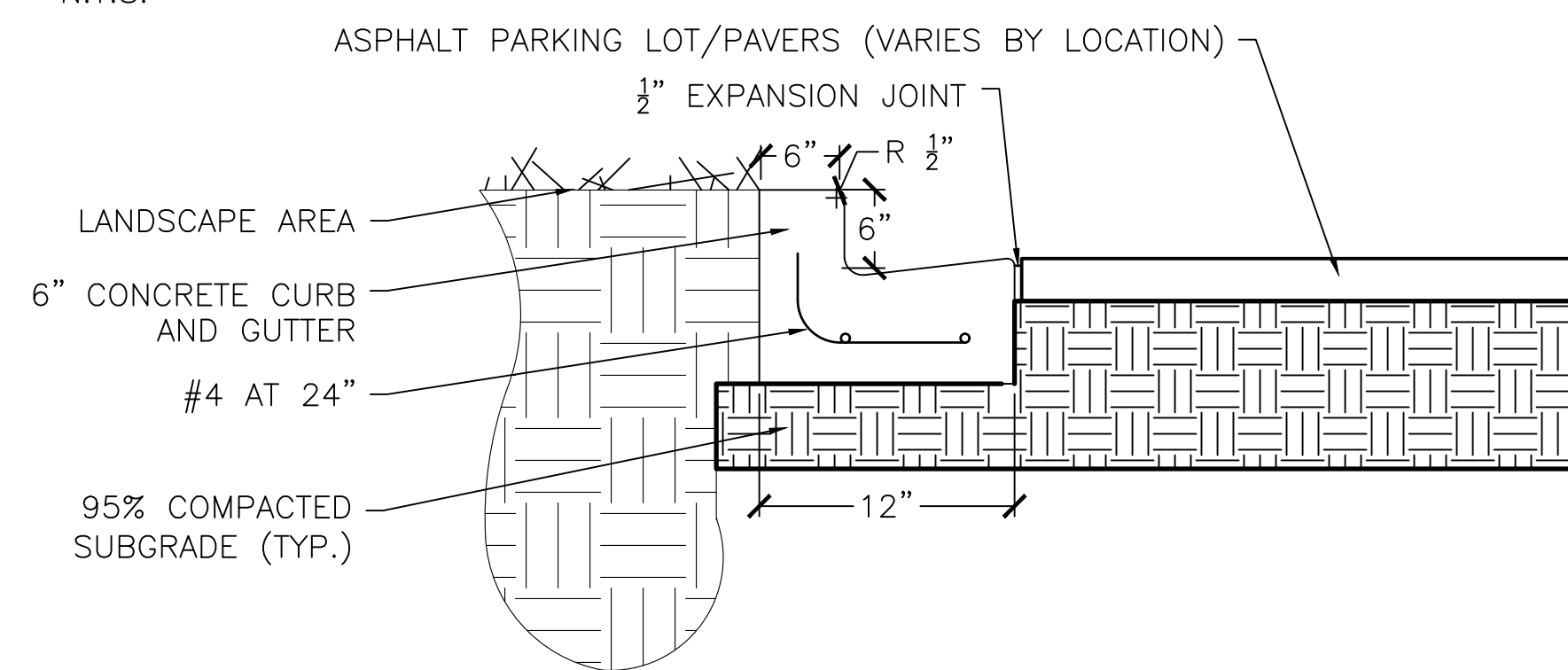


D CONCRETE THICKENED EDGE AT ADA RAMP  
N.T.S.

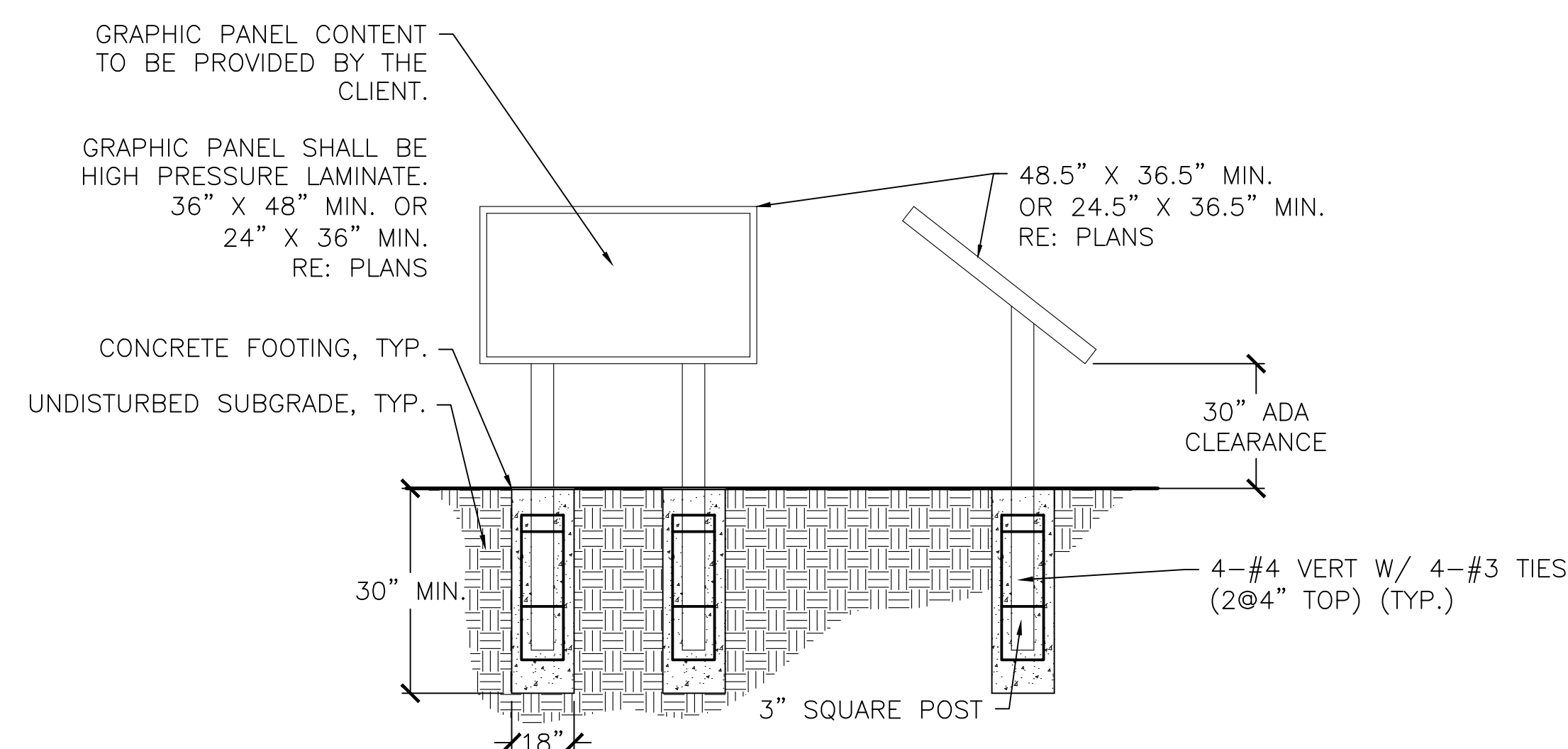


- NOTES:
1. CRUSHER FINES, 6" DEPTH x VARIED WIDTH. GRAVEL TO BE SLOPED AWAY FROM CENTER OF PATH AND COMPACTED TO ASTM STANDARDS.
  2. CRUSHER FINES SHALL BE RED IN COLOR.

E CRUSHER FINES  
N.T.S.



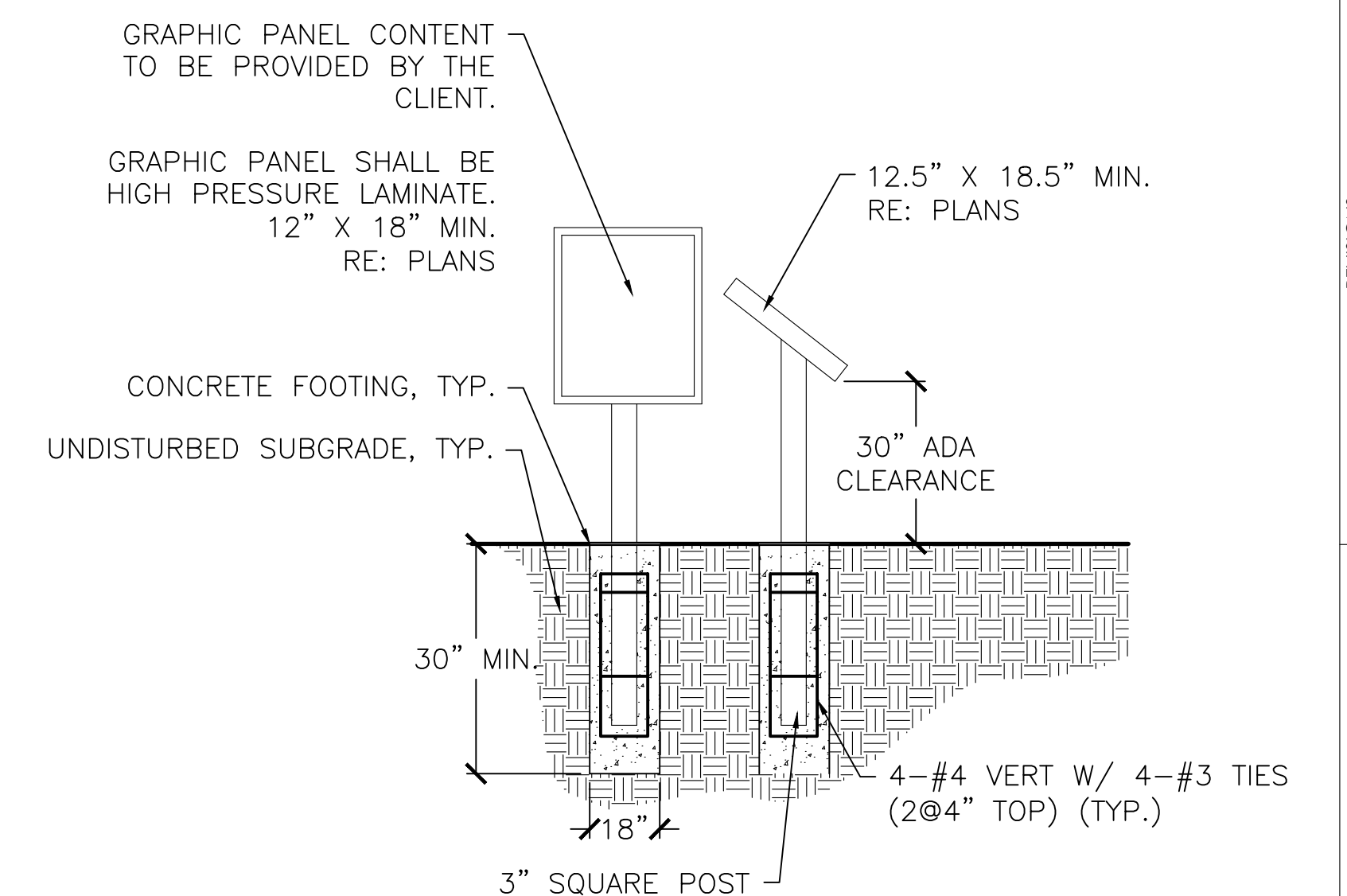
F CURB AND GUTTER AT PARKING LOT AND MEMORIAL WALL  
N.T.S.



- NOTES:
1. FRAME AND POSTS SHALL BE METAL POWDER COATED BLACK.
  2. LARGE INTERPRETIVE SIGNS SHALL BE EITHER 24" X 36" OR 36" X 48". SEE PLANS FOR LOCATIONS.

AVAILABLE FROM: KVO INDUSTRIES  
SLIMLINE EXHIBIT BASES AND FRAMES (OR OWNERS PREFERENCE)

G LARGE INTERPRETIVE SIGNS  
N.T.S.



- NOTES:
1. FRAME AND POSTS SHALL BE POWDER COATED BLACK.
  2. SMALL INTERPRETIVE SIGNS SHALL BE 12.5" X 18.5". SEE PLANS FOR LOCATIONS.

AVAILABLE FROM: KVO INDUSTRIES  
STREAMLINE EXHIBIT BASES AND FRAMES (OR OWNERS PREFERENCE)

H SMALL INTERPRETIVE SIGN  
N.T.S.

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