

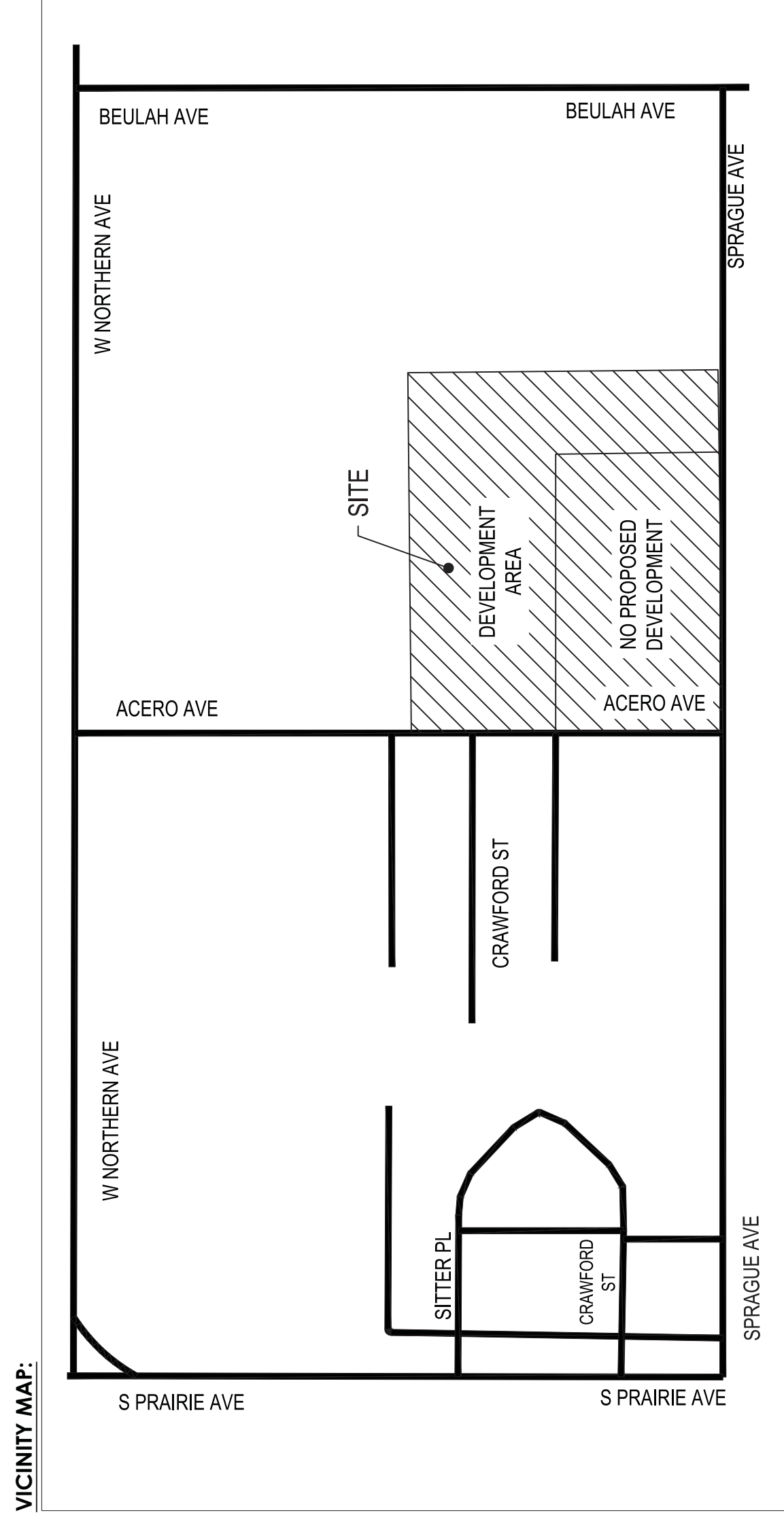




# UPLAND TOWNHOMES

## CIVIL CONSTRUCTION DRAWINGS

Located in the Northwest 1/4 of Section 11, Township 21 South, Range 65 West of the 6th Principal Meridian, City and County of Pueblo



### Legal Description:

#### PARCEL #1 (UPLAND TOWNHOMES)

A PARCEL OF LAND LOCATED IN A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF PUEBLO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 3, BLOCK 29, UPLANDS PARK AS DESCRIBED IN QUIT CLAIM DEED FOUND AT BOOK 2526, PAGE 140 & PAGE 141, FURTHER DESCRIBED AS ALL OF TRACT 1 AND PORTION OF TRACT 2, LOT LINE REARRANGEMENT, BOOK 2453, PAGE 869.

COMMENCING AT THE INTERSECTION OF THE SOUTHWEST CORNER OF THE REMAINDER PARCEL, WHICH A MAG NAIL IN A CHISELED CROSS WAS FOUND AT A 2.0' OFFSET, A DISTANCE OF 673.28 FEET TO A POINT BEING THE NORTHWEST CORNER OF TRACT 1 FROM WHICH A 1.5" ALUMINUM CAP (I.S. 10093) WAS FOUND AT A 2.0' OFFSET BEING THE TRUE POINT OF BEGINNING;

THENCE NB87°54'45"E, A DISTANCE OF 627.06 FEET TO A POINT BEING THE NORTHEAST CORNER OF SAID TRACT FROM WHICH A IR REBAR WITH A BROKEN CAP WAS FOUND AT A 2.0' OFFSET;

THENCE S88°52'38"W, A DISTANCE OF 627.03 FEET TO A POINT FROM WHICH A IR REBAR WITH A RED CAP WAS FOUND AT A 1.80' OFFSET;

THENCE S88°52'38"W, A DISTANCE OF 74.97 FEET TO A POINT BEING THE SOUTHEAST CORNER OF TRACT 2 FROM WHICH A MAG NAIL IN A CHISELED CROSS WAS FOUND AT A 0.60' OFFSET;

THENCE N01°03'33"W, A DISTANCE OF 270.15 FEET TO THE FOUND IR REBAR WITH A YELLOW PLASTIC CAP (I.S. 10093);

THENCE S88°52'38"W, A DISTANCE OF 80.12 FEET TO THE FOUND MAG NAIL AND BRASS TAG;

THENCE S88°52'38"W, A DISTANCE OF 264.86 FEET TO THE FOUND IR REBAR WITH A YELLOW PLASTIC CAP (I.S. 10093);

THENCE S88°52'38"W, A DISTANCE OF 207.69 FEET TO THE FOUND 1.5" ALUMINUM CAP (I.S. 22101) BEING THE NORTHWEST CORNER OF TRACT 2 FROM WHICH LIES A FOUND BRASS TAG INSIDE A RANGEBOX AT BEARING 502°48'42"W, AT 294.47 FEET;

THENCE N01°02'38"W, A DISTANCE OF 353.03 FEET BACK TO THE TRUE POINT OF BEGINNING

CONTAINING 242,706 SQUARE FEET (5.57 +/- ACRES) MORE OR LESS.

**BASIS OF BEARING STATEMENT:** BASED ON THE NORTH LINE OF LOT 3, BLOCK 29, UPLANDS PARK, ALSO KNOWN AS TRACT 1, LOT LINE REARRANGEMENT, RECORDED AT BOOK 2453, PAGE 869 BETWEEN THE FOUND 1.5" ALUMINUM CAP AT 2.0' OFFSET AND THE FOUND IR REBAR WITH A BROKEN CAP, ASSUMED TO BEAR NB87°54'45"E.

#### PARCEL #2 (REMAINDER PARCEL)

A PARCEL OF LAND LOCATED IN A PORTION OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF PUEBLO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF LOT 4, BLOCK 29, UPLANDS PARK AS DESCRIBED IN QUIT CLAIM DEED FOUND AT BOOK 2526, PAGE 140 & PAGE 141, FURTHER DESCRIBED AS ALL OF TRACT 1 AND PORTION OF TRACT 2, LOT LINE REARRANGEMENT, BOOK 2453, PAGE 869.

COMMENCING AT THE FOUND BRASS TAG INSIDE OF RANGEBOX LOCATED IN THE INTERSECTION OF ACERO AVENUE AND WEST NORTHERN AVENUE, THENCE S24°50'00"E, A DISTANCE OF 270.15 FEET TO THE SOUTHWEST CORNER OF THE REMAINDER PARCEL, WHICH A MAG NAIL IN A CHISELED CROSS WAS FOUND AT A 0.6' OFFSET BEING THE TRUE POINT OF BEGINNING;

THENCE N01°03'33"W, A DISTANCE OF 270.15 FEET TO THE FOUND IR REBAR WITH A YELLOW PLASTIC CAP (I.S. 10093);

THENCE S88°52'38"W, A DISTANCE OF 80.12 FEET TO THE FOUND MAG NAIL AND BRASS TAG;

THENCE S88°52'38"W, A DISTANCE OF 264.86 FEET TO THE FOUND IR REBAR WITH A YELLOW PLASTIC CAP (I.S. 10093);

THENCE S88°52'38"W, A DISTANCE OF 207.69 FEET TO THE FOUND 1.5" ALUMINUM CAP (I.S. 22101) BEING THE NORTHWEST CORNER OF TRACT 2 FROM WHICH LIES A FOUND BRASS TAG INSIDE A RANGEBOX AT BEARING 502°48'42"W, AT 294.47 FEET;

THENCE S01°02'38"E, A DISTANCE OF 273.89 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 4, BLOCK 29, UPLANDS PARK

CONTAINING 163,383 SQUARE FEET (3.45 +/- ACRES) MORE OR LESS.

**BASIS OF BEARING STATEMENT:** BASED ON THE NORTH LINE OF LOT 3, BLOCK 29, UPLANDS PARK, ALSO KNOWN AS TRACT 1, LOT LINE REARRANGEMENT, RECORDED AT BOOK 2453, PAGE 869 BETWEEN THE FOUND 1.5" ALUMINUM CAP AT A 2.0' OFFSET AND THE FOUND IR REBAR WITH A BROKEN CAP, ASSUMED TO BEAR NB87°54'45"E.

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NOT TO SCALE

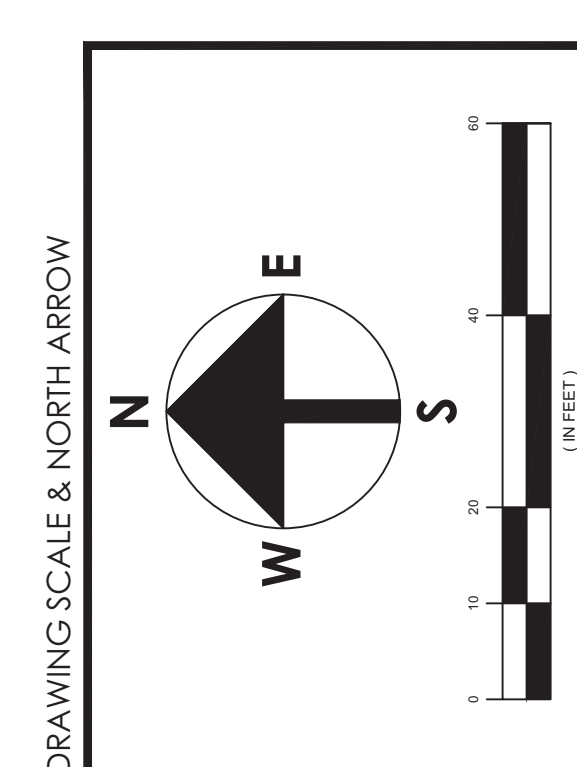
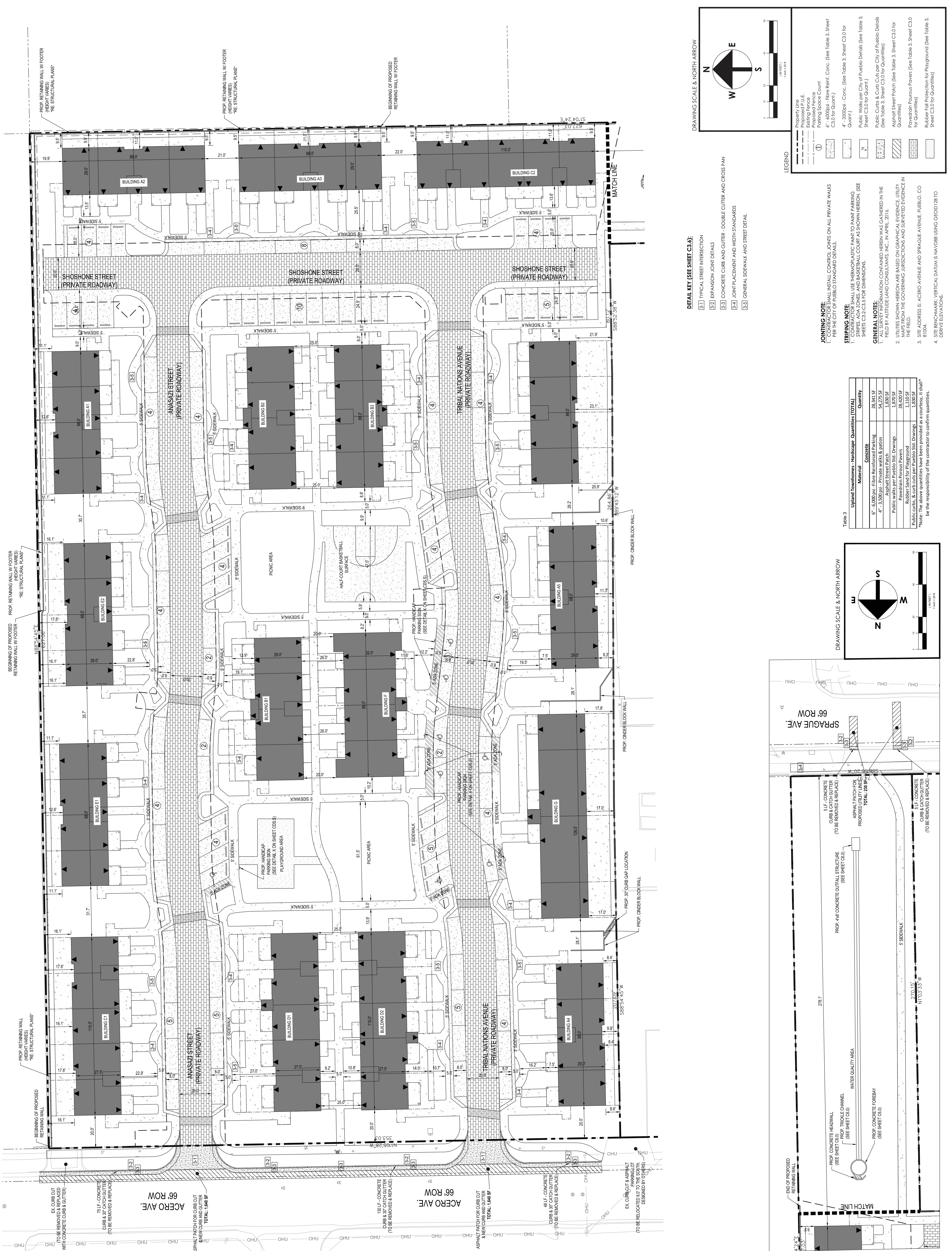
### General Notes:

- Fences, walls, signs and accessory structures are subject to separate reviews and permits.
- Approval for this plan does not constitute or imply compliance with ADA requirements.
- Approval for this plan does not constitute or imply compliance with ADA requirements.
- Responsibility for the maintenance of the commonly owned land constructed as a part of this development will be that of the property owner(s).
- Altitude Land Consultants, Inc. assumes no responsibility for utility locations. The utilities shown on these drawings have been plotted from the best available information. Verify the location of all utilities prior to the commencement of any construction. Notify engineer of any discrepancies prior to construction.
- The utilities shown on these plans have been plotted from the best available information. It is the contractor's responsibility to verify utility locations. It is the contractor's responsibility to protect existing utilities from damage throughout the construction of the project. The contractor shall call the Utility Notification Center of Colorado for utility locations 2 working days prior to commencing construction.









**LEGEND**

- Property Line
- Proposed P.U.E.
- Existing P.U.E.
- Proposed Pavement
- Parking Space Count
- 6" - 6000psi - Fibre Rein. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 3800psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Works per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Public Curb & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- Pavedrain Porous Pavers (See Table 3, Sheet C3.0 for Quantities)
- Rubber Fall Protection for Playground (See Table 3, Sheet C3.0 for Quantities)

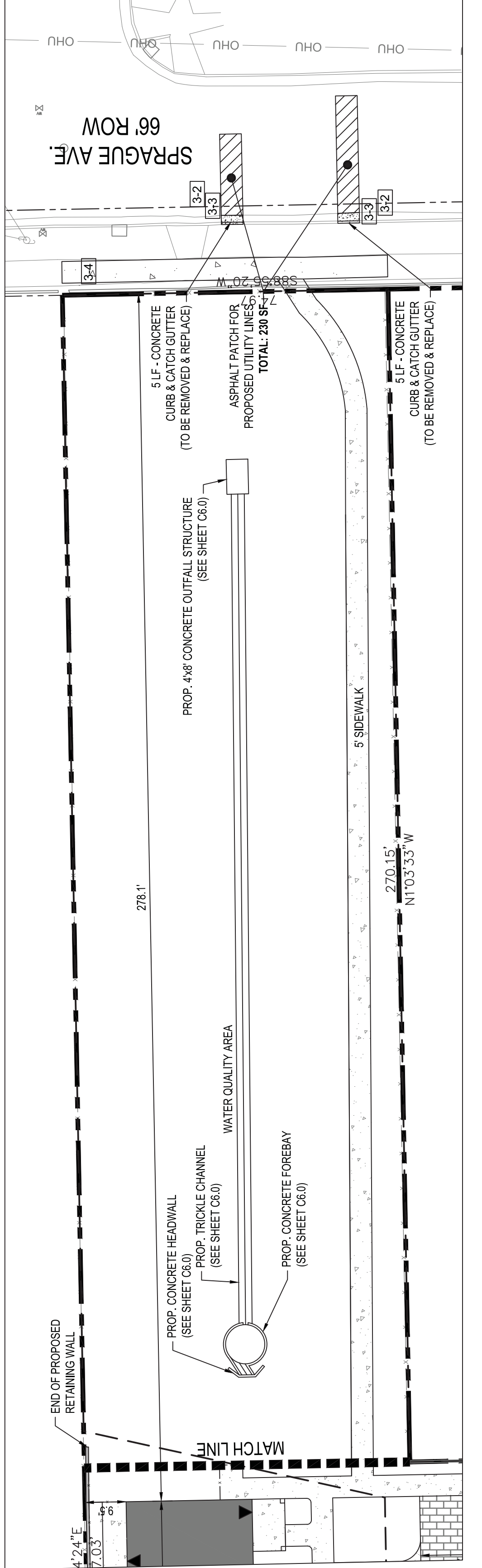
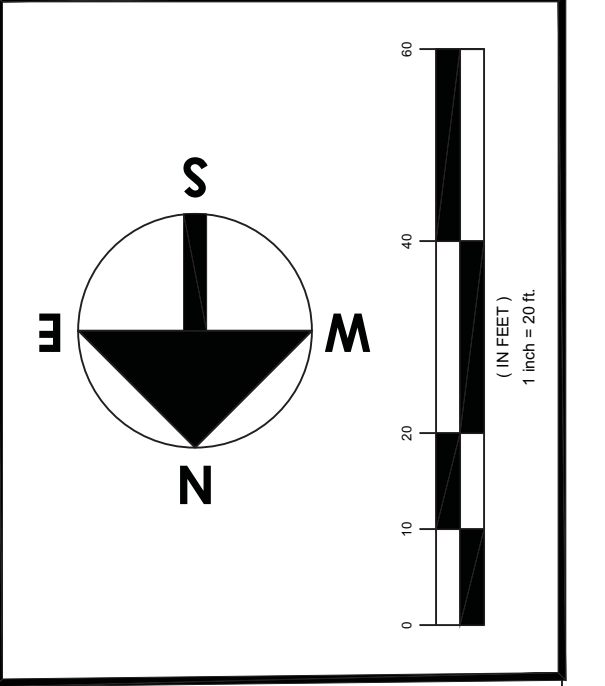
- DETAIL KEY (SEE SHEET C3.0):**
- 3.1 TYPICAL STREET INTERSECTION
  - 3.2 EXPANSION JOINT DETAILS
  - 3.3 CONCRETE CURB AND GUTTER - DOUBLE CUTTER AND CROSS PAN
  - 3.4 JOINT PLACEMENT AND WIDTH STANDARDS
  - 3.5 GENERAL SIDEWALK AND STREET DETAIL

- JOINING NOTE:**  
 1. ALL INSTALL CONTROL JOINTS ON ALL PRIVATE WALKS PER THE CITY OF PUEBLO STANDARD DETAILS.
- STRIPING NOTE:**  
 1. STRIPING SHALL USE REFLECTIVE PAINT TO PAINT PARKING SPACES, CURBS, AND SIDEWALKS. CURB AS SHOWN HEREON. (SEE SHEETS C3.2, C3.3 FOR DIMENSIONS).
- GENERAL NOTES:**  
 1. ALL MATERIALS AND METHODS CONTAINED HEREON WAS GATHERED IN THE FIELD BY A LICENSED SURVEYOR AND ENGINEER IN APRIL 2014.  
 2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY RECORDS, AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES IN THE FIELD.  
 3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
 4. SITE BENCHMARK: VERTICAL DATUM IS NAVD88 USING GEOID 128 TO DERIVE ELEVATIONS.

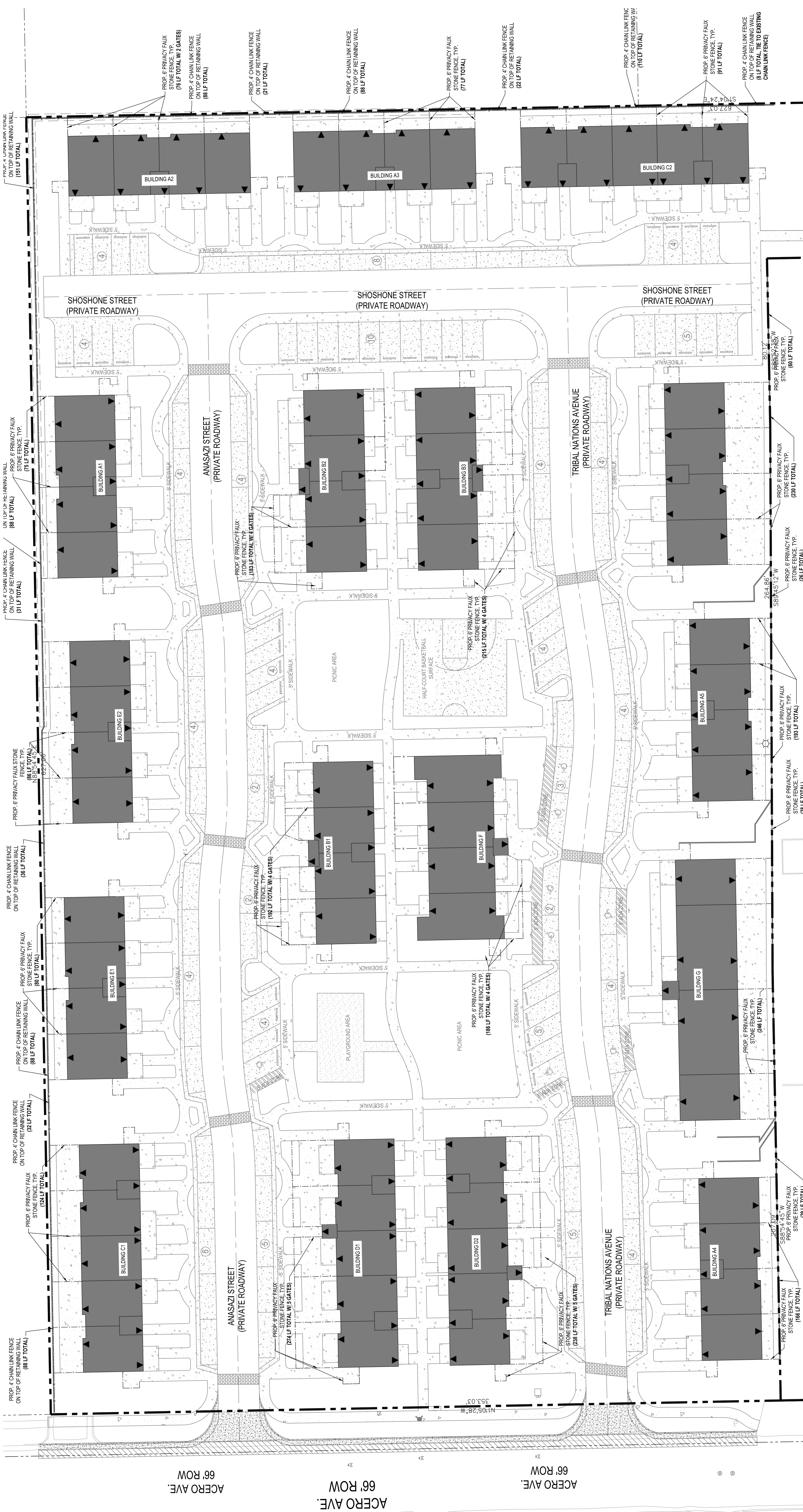
**Table 3 Upland Townhomes - Hardscape Quantities (TOTAL)**

Material	Quantity
Concrete	38,341 SF
6" - 6000psi - Fibre Rein. Conc. (See Table 3, Sheet C3.0 for Quant.)	64,725 SF
4" - 3800psi - Conc. (See Table 3, Sheet C3.0 for Quant.)	1,870 SF
Asphalt Street Patch	1,870 SF
Public Works per Pueblo Std. Drawings	28,400 SF
Pavedrain Porous Pavers	1,110 SF
Rubber Sand for Playground	1,110 SF
Public Curb & curb cuts per Pueblo Std. Drawings	1,180 SF

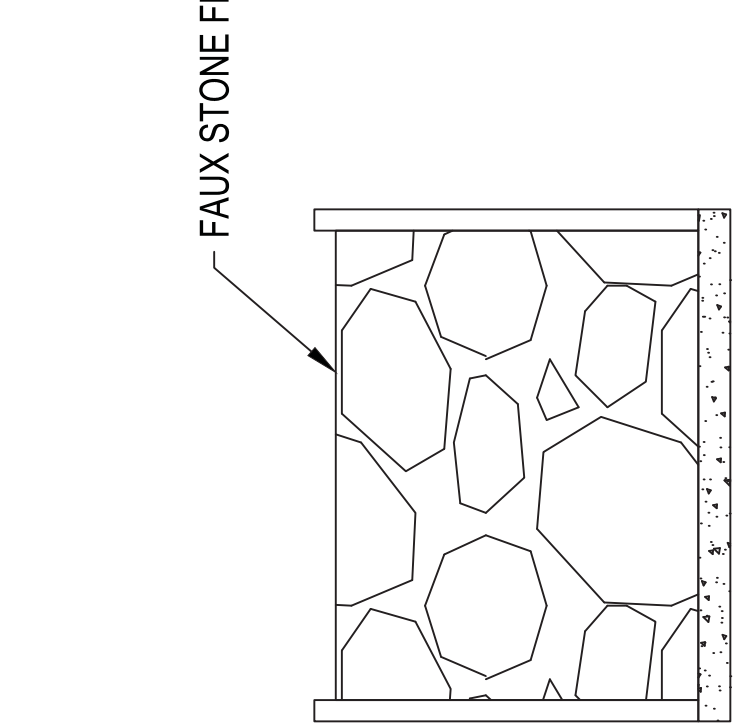
\*Note: The above quantities have been provided as a courtesy. It shall be the responsibility of the contractor to confirm quantities.



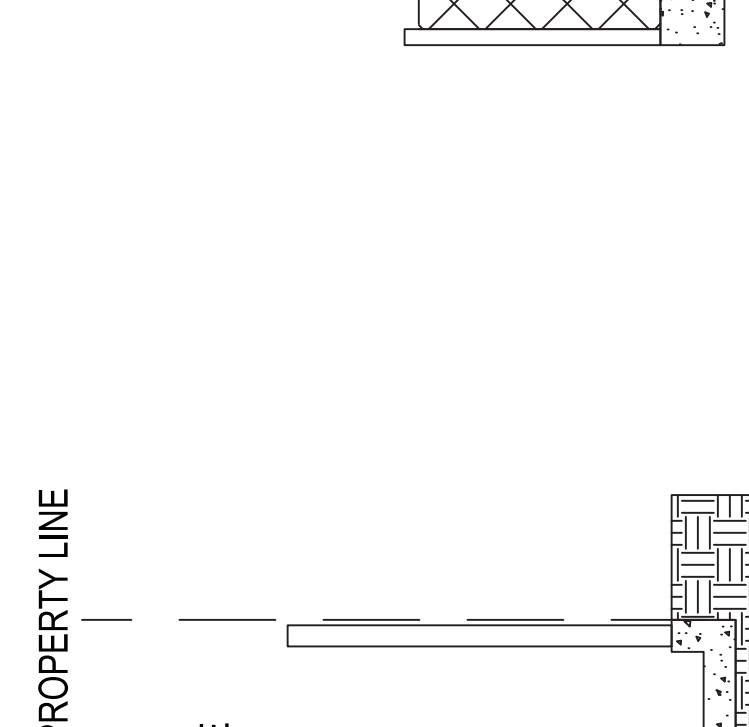




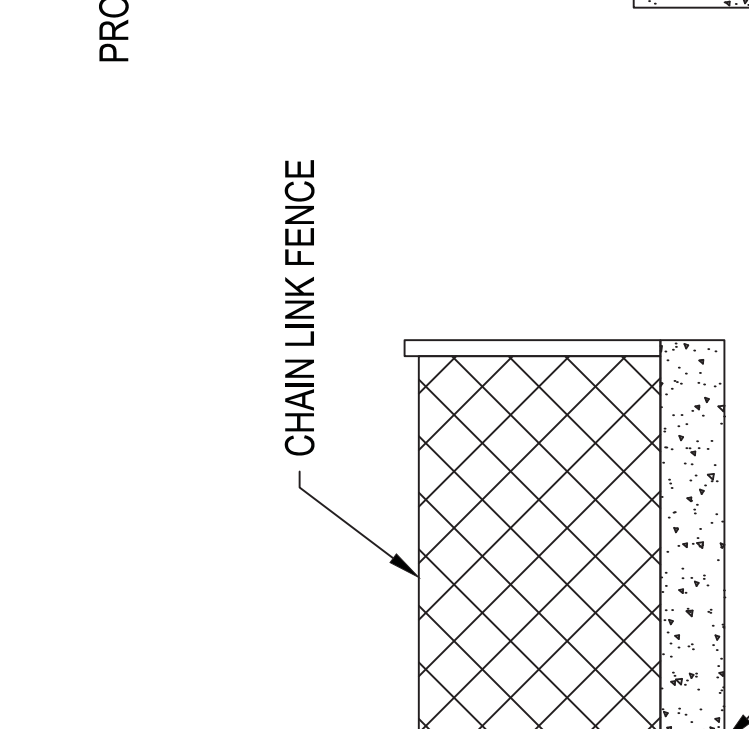
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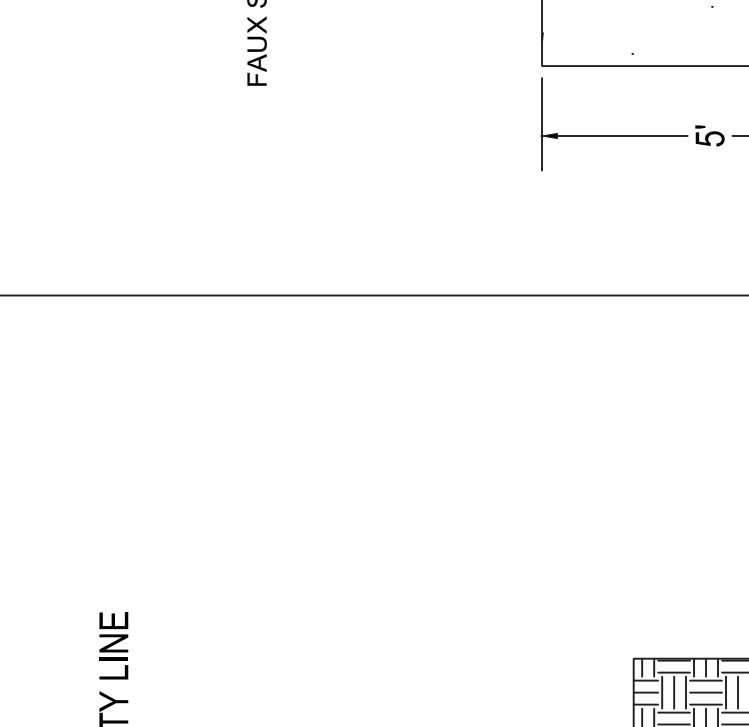
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3-C

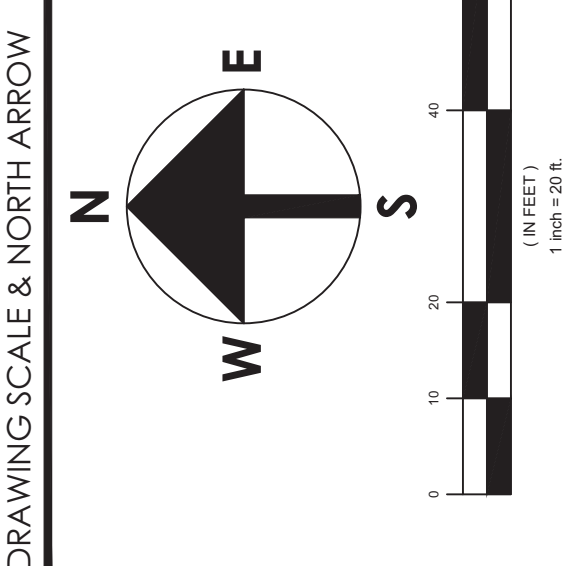
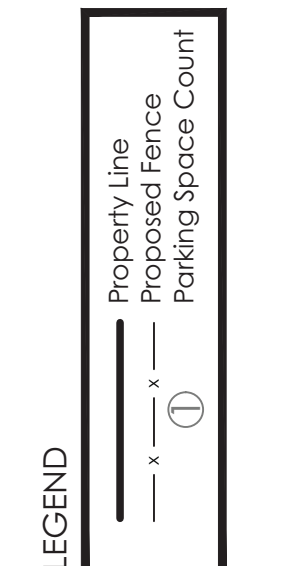


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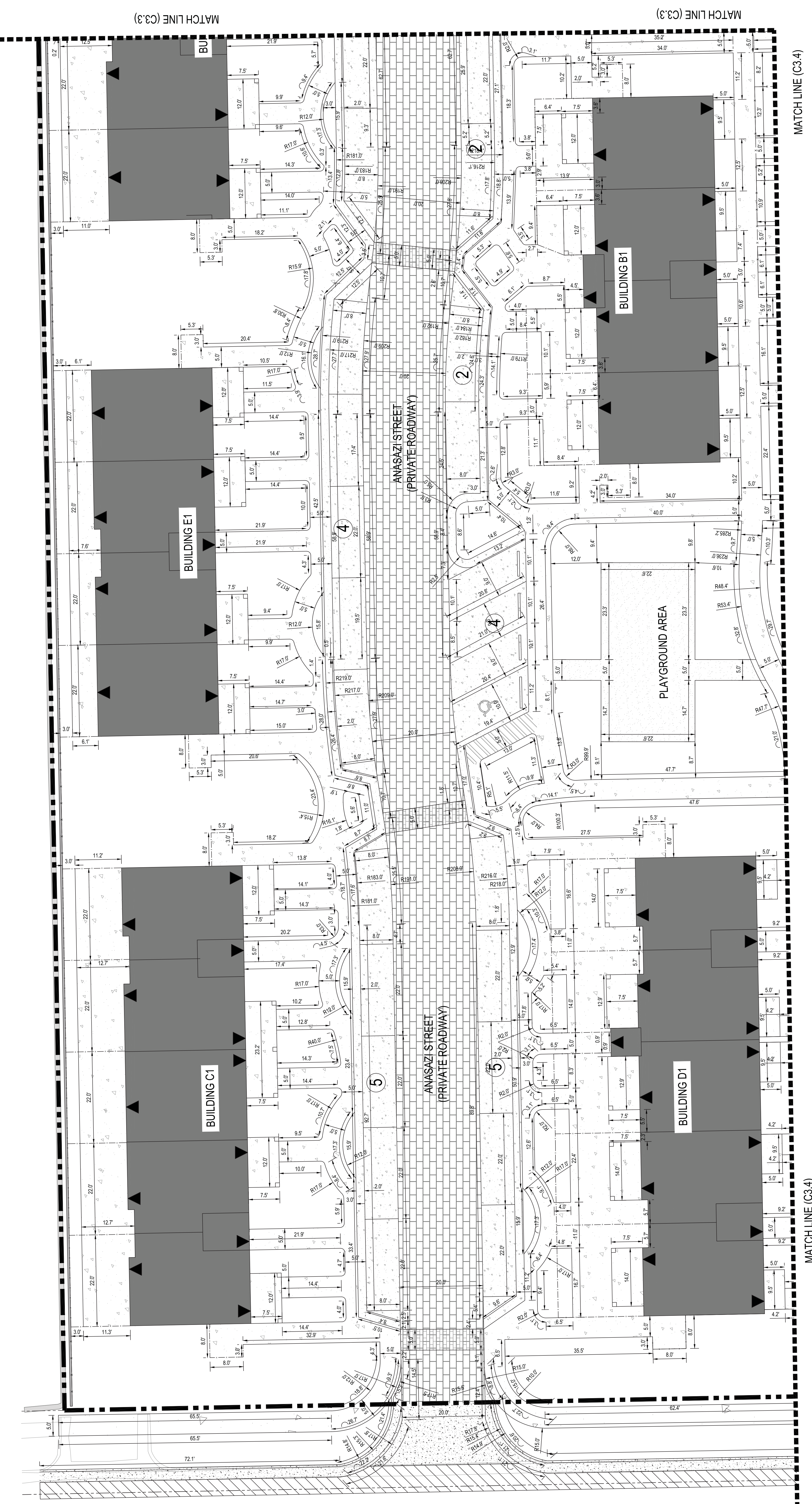


- FENCING NOTES:**
- All proposed fencing shall be 6' privacy faux stone fencing.
  - All trash enclosures located on either end of a building shall be enclosed with 6' privacy faux stone fencing.
  - To be filed on callouts include fencing around the trash enclosures.

- GENERAL NOTES:**
- ALL SURVEY INFORMATION CONTAINED HEREIN WAS OBTAINED IN THE FIELD BY LITITUDE LAND CONSULTANTS, INC. IN APRIL 2016.
  - UTILITY SHOWING HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE COVERING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
  - SITE ADDRESS IS ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
  - THE BENCHMARK VERTICAL DATUM IS NAVD83 USING GEGOID 28 TO DERIVE ELEVATIONS.



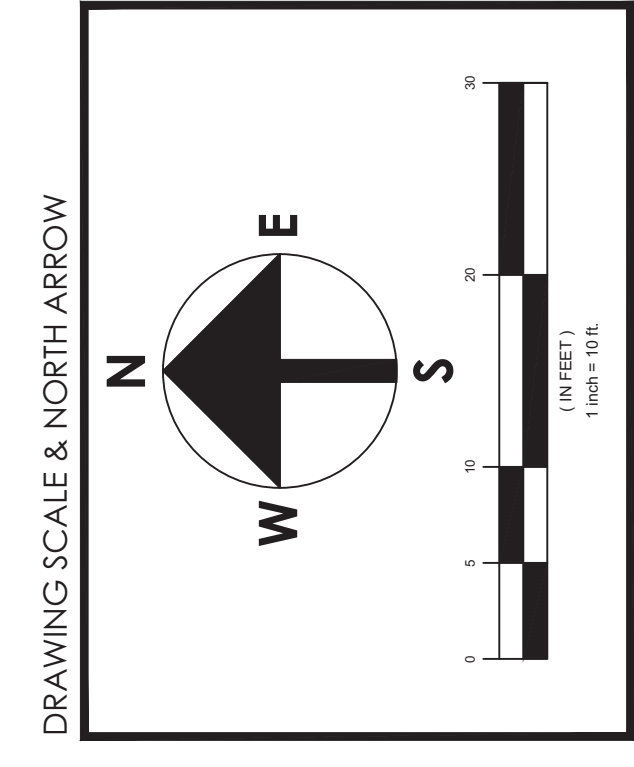




**STRIPING NOTE:**  
1. CONTRACTOR SHALL USE THERMOPLASTIC PAINT TO PAINT PARKING SPACES AND DRIVEWAYS. ALL DIMENSIONS SHALL BE SHOWN HEREON. (SEE SHEETS C3.2-C3.3 FOR DIMENSIONS.)

**LEGEND**

- Property Line
- Existing Easement
- Existing Fence
- Proposed Fence
- Parking Space Count
- 6" - 6000psi - Fibre Reinft. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- Pavedrain Porous Pavers (See Table 3, Sheet C3.0 for Quantities)
- Rubber Mat Protection for Playground (See Table 3, Sheet C3.0 for Quantities)



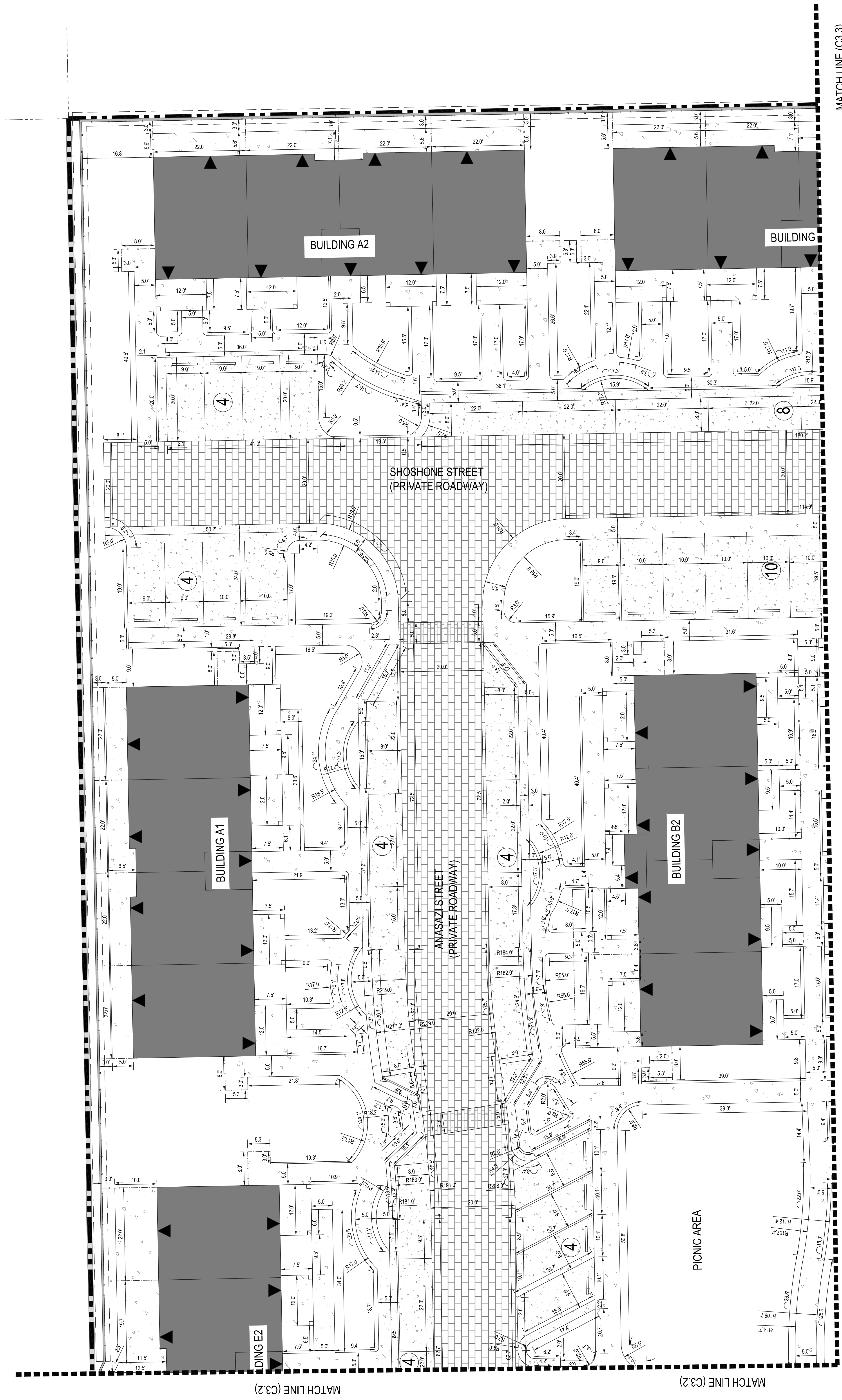
**JOINING NOTE:**  
1. CONTRACTOR SHALL INSTALL CONTROL JOINTS ON ALL PRIVATE WALKS PER THE CITY OF PUEBLO STANDARD DETAILS.

**GENERAL NOTES:**  
1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC. IN APRIL, 2016.  
2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID 08 TO DERIVE ELEVATIONS.

Material	Quantity	Upland Townhomes - Hardscape Quantities (TOTAL)
Concrete		
6" - 6000psi - Fibre Reinforced Parking	28,341 SF	
4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)	1,870 SF	
Public Walks per Pueblo Std. Drawings	28,420 SF	
Rubber Mat for Playground	1,110 SF	
Public Curbs & curb cuts per Pueblo Std. Drawings	1,830 SF	

\*Note: The above quantities have been provided as a courtesy, it shall be the responsibility of the contractor to confirm quantities.

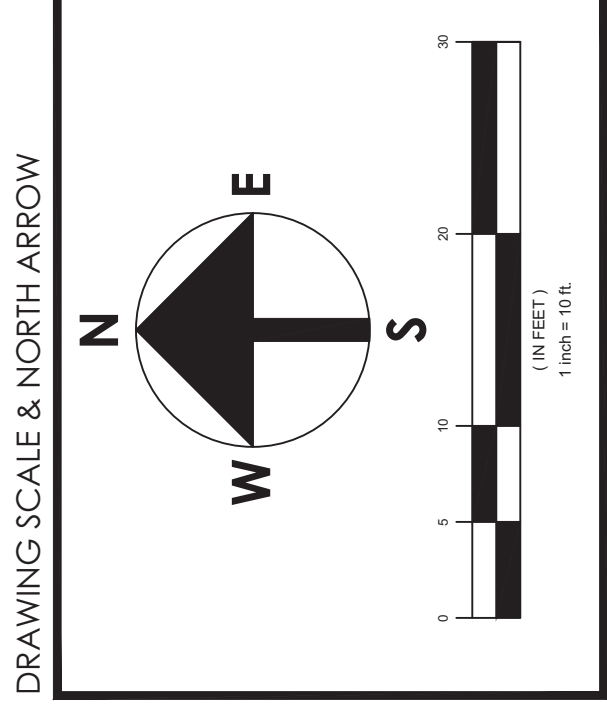




**STRIPING NOTE:**  
1. CONTRACTOR SHALL USE THERMOPLASTIC PAINT TO PAINT PARKING SPACES AND DRIVEWAYS AS SHOWN HEREON. (SEE SHEETS C3.2-C3.5 FOR DIMENSIONS.)

**LEGEND**

Property Line	Existing Fence	Proposed Fence	Parking Space Count	6" - 6000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)	4" - 3000psi - Conc. (See Table 3, Sheet C3.0 for Quant.)	Public Walls per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)	Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)	Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)	Pavedrain Porous Pavers (See Table 3, Sheet C3.0 for Quantities)	Rubber Mat Protection for Playground (See Table 3, Sheet C3.0 for Quantities)
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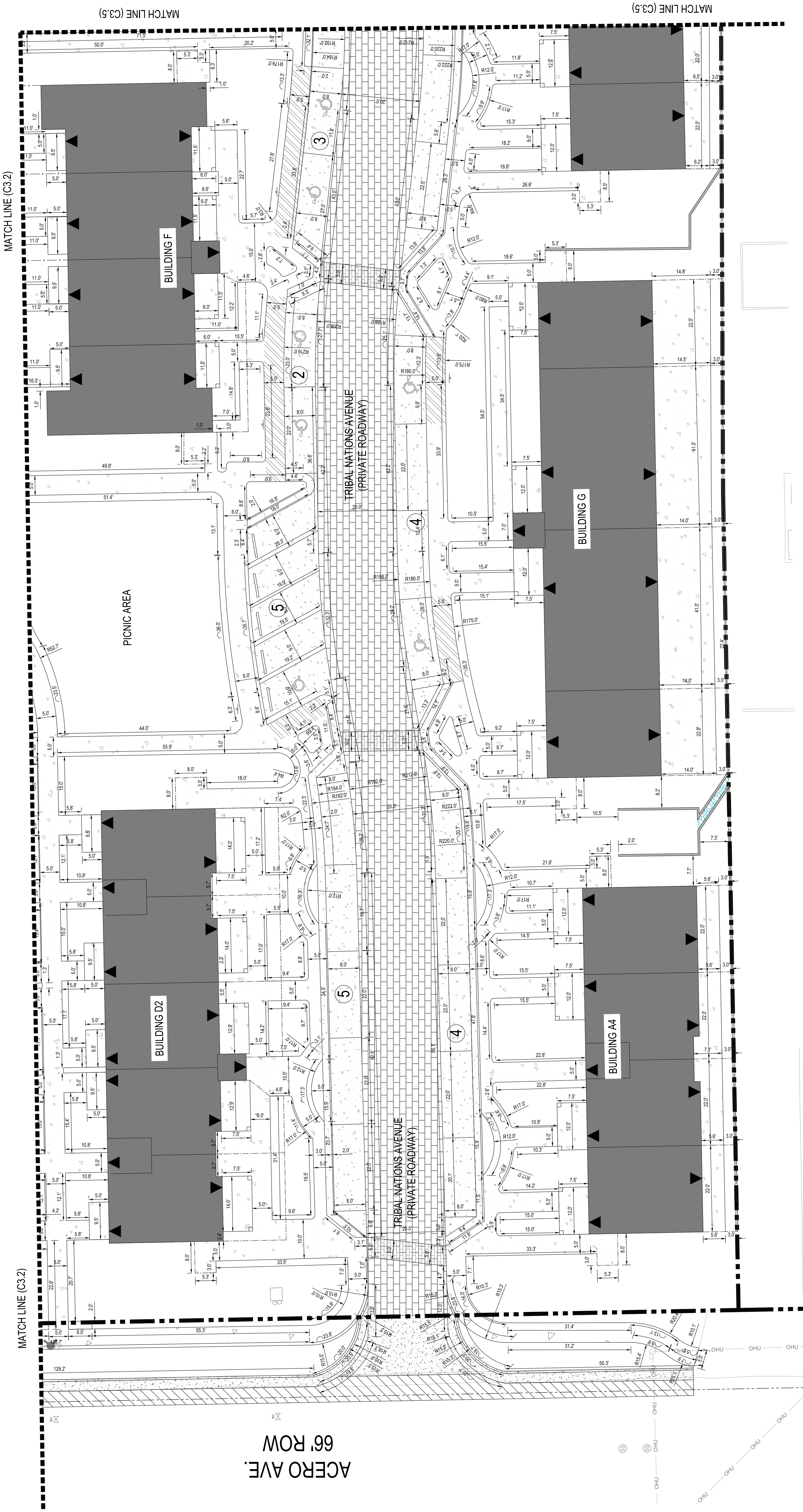
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**GENERAL NOTES:**  
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2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
4. SEE BENCHMARKS: VERTICAL DATUM IS NAVD83 USING GEOID 128 TO DERIVE ELEVATIONS.

Material	Quantity	Upland Townhomes - Hardscape Quantities (TOTAL)
Concrete	28,341 SF	
6" - 6000psi - Fibre Reinforced Parking	28,341 SF	
4" - 3000psi - Concrete	1,870 SF	
Asphalt Street Patch	1,870 SF	
Public Walls per Pueblo Std. Drawings	1,870 SF	
Pavedrain Porous Pavers	28,420 SF	
Rubber Mat for Playground	1,110 SF	
Public Curbs, & curb cuts per Pueblo Std. Drawings	1,830 SF	

\*Note: The above quantities have been provided as a courtesy. It shall be the responsibility of the contractor to confirm quantities.

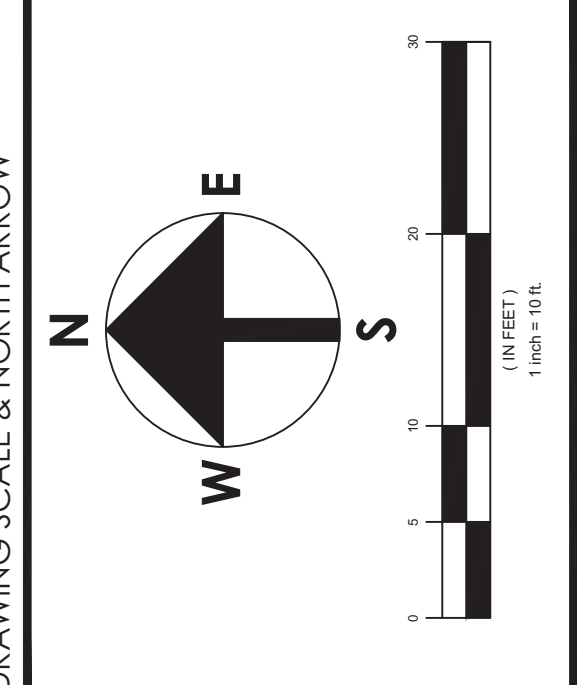




**STRIPING NOTE:**  
 1. CONTRACTOR SHALL USE THERMOPLASTIC PAINT TO PAINT PARKING SPACES AND DRIVEWAYS. ALL CURBS SHALL BE SHOWN HEREON. (SEE SHEETS C3.2-C3.5 FOR DIMENSIONS.)

**LEGEND**

- Property Line
- - - - - Existing Fence
- - - - - Proposed Fence
- ⊙ Parking Space Count
- ① 6" - 6000psi - Fibre Reinft. Conc. (See Table 3, Sheet C3.0 for Quant.)
- ② 4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- ③ Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- ④ Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- ⑤ Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- ⑥ Pavement Porous Pavers (See Table 3, Sheet C3.0 for Quantities)
- ⑦ Rubber Mat Protection for Playground (See Table 3, Sheet C3.0 for Quantities)



**JOINING NOTE:**  
 1. CONTRACTOR SHALL INSTALL CONTROL JOINTS ON ALL PRIVATE WALKS PER THE CITY OF PUEBLO STANDARD DETAILS.

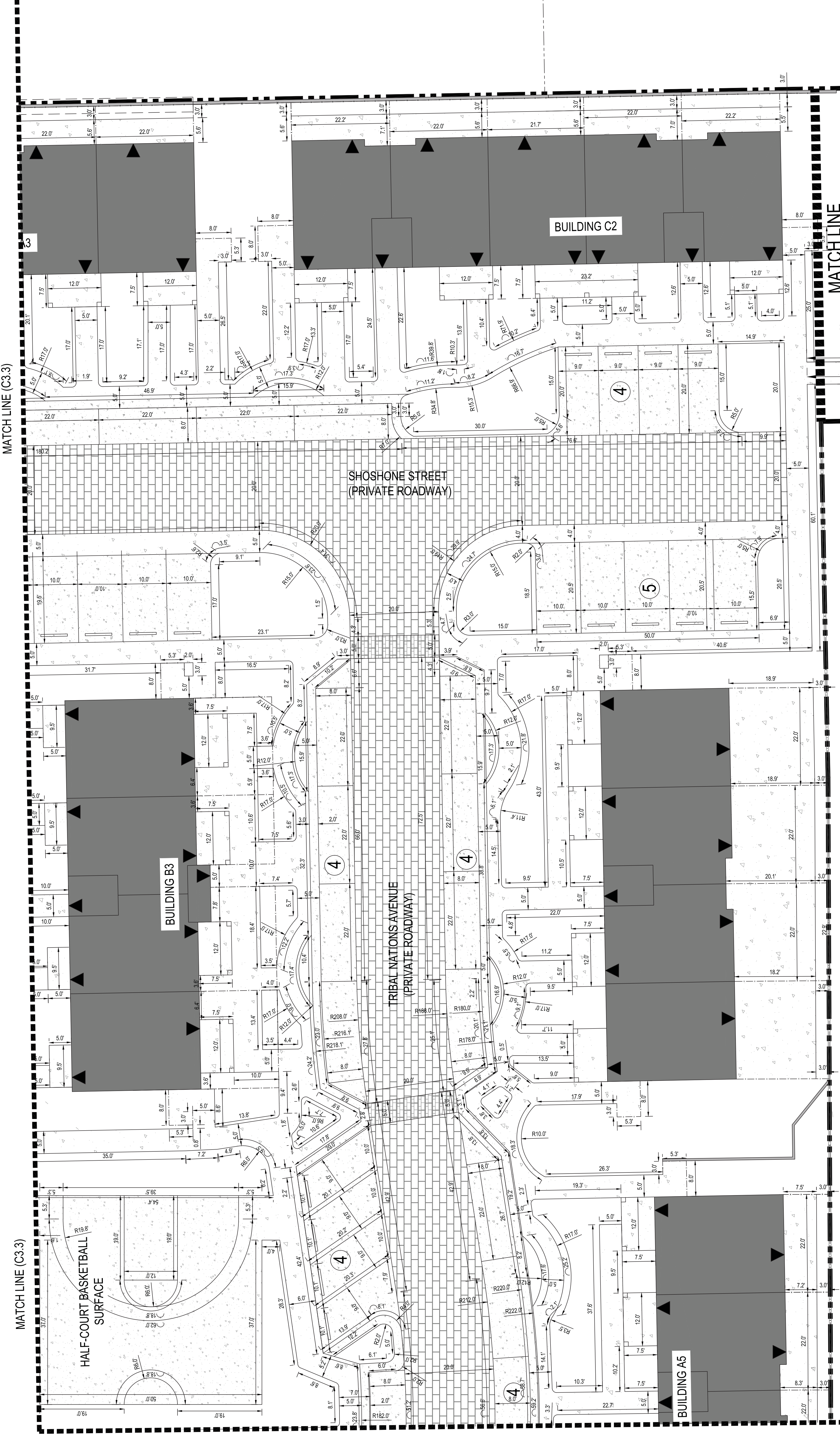
**GENERAL NOTES:**  
 1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC. IN APRIL, 2016.  
 2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
 3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
 4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID 128 TO DERIVE ELEVATIONS.

Material	Quantity	Upland Townhomes - Hardscape Quantities (TOTAL)
Concrete	28,341 SF	
6" - 6000psi - Fibre Reinforced Parking	28,341 SF	
4" - 3500psi - Concrete	1,870 SF	
Asphalt Street Patch	1,870 SF	
Public Walks per Pueblo Std. Drawings	28,420 SF	
Pavement Porous Pavers	1,110 SF	
Rubber Mat for Playground	1,830 SF	
Public Curbs & curb cuts per Pueblo Std. Drawings	1,830 SF	

\*Note: The above quantities have been provided as a courtesy. It shall be the responsibility of the contractor to confirm quantities.

ACERO AVE. 66' ROW





**STRIPING NOTE:**  
1. CONTRACTOR SHALL USE THERMOPLASTIC PAINT TO PAINT PARKING SPACES AND ALL SMALL COURT AS SHOWN HEREON. (SEE SHEETS C3.2-C3.5 FOR DIMENSIONS).

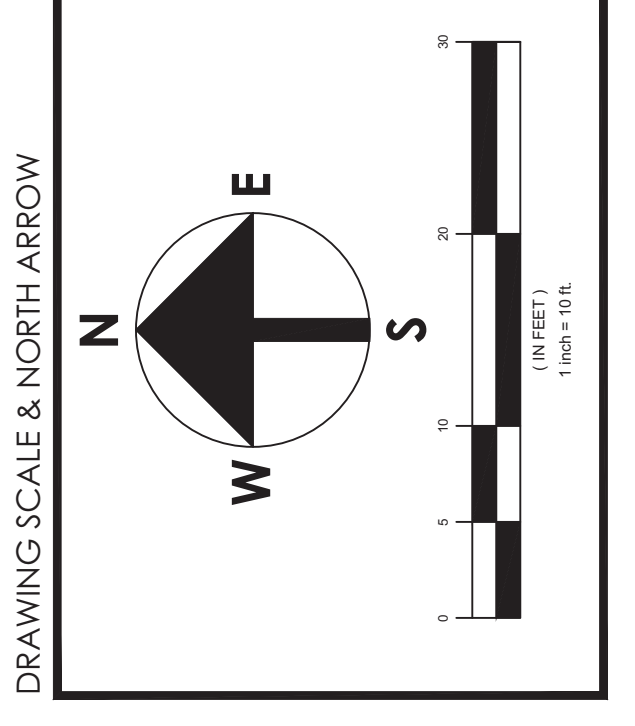
**LEGEND**

Property Line	Existing Easement	Proposed Easement	Parking Space Count	6" - 6000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)	Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)	Public Curb & Gully per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)	Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)	Pavement Porous Pavers (See Table 3, Sheet C3.0 for Quantities)	Rubber Fat Protection for Playground (See Table 3, Sheet C3.0 for Quantities)
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**Upland Townhomes - Hardscape Quantities (TOTAL)**

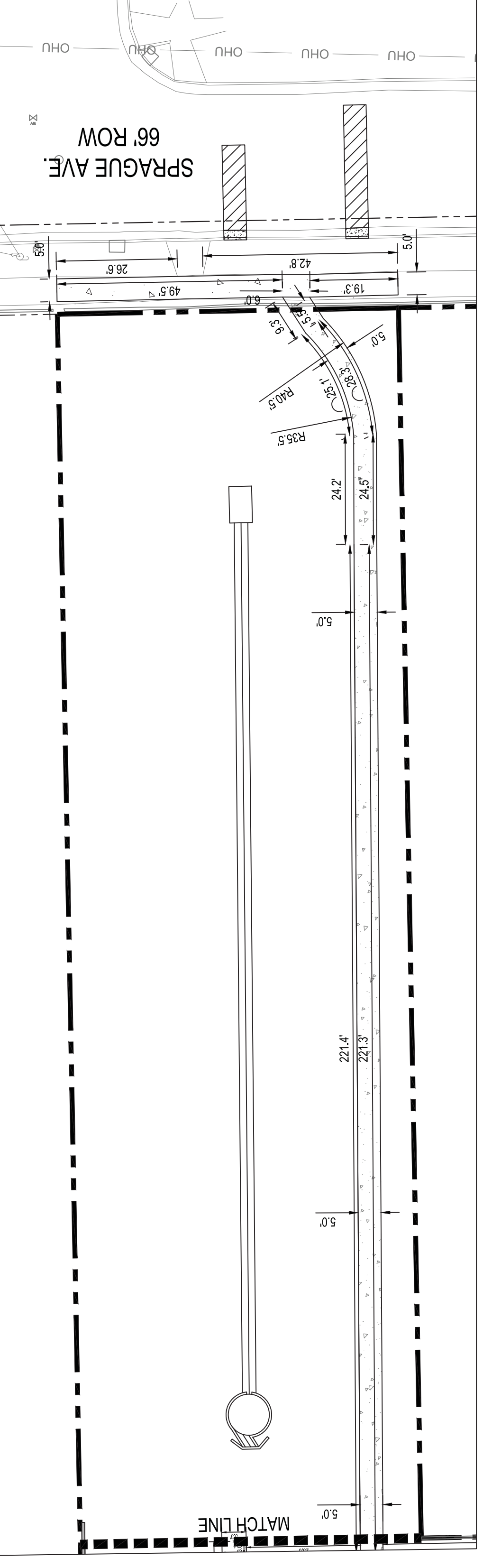
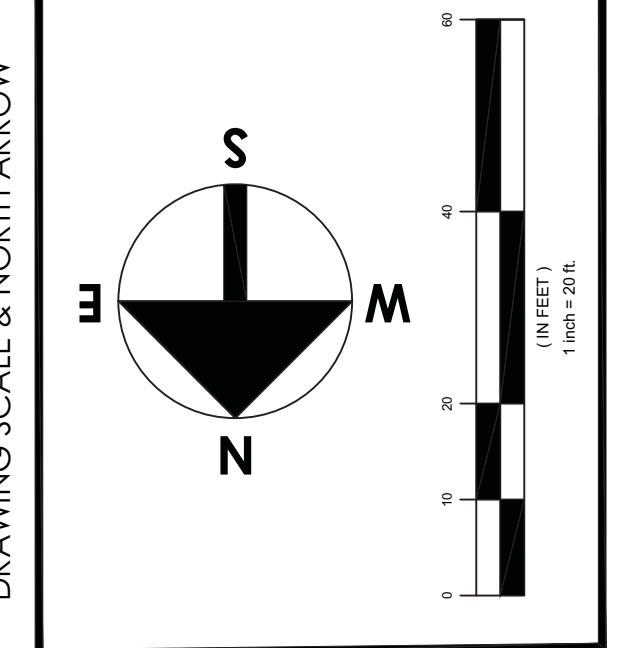
Material	Quantity
Concrete	28,941 SF
6" - 6000 psi - Fibre Reinforced Parking	54,275 SF
4" - 3,500 psi - Private walks & patios	1,830 SF
Asphalt Street Patch	28,420 SF
Public Walks per Pueblo Std. Drawings	1,110 SF
Pavement Porous Pavers	1,110 SF
Rubber Sand for Playground	2,830 SF
Public Curb & Gully per Pueblo Std. Drawings	1,110 SF

\*Note: The above quantities have been provided as a courtesy. It shall be the responsibility of the contractor to confirm quantities.



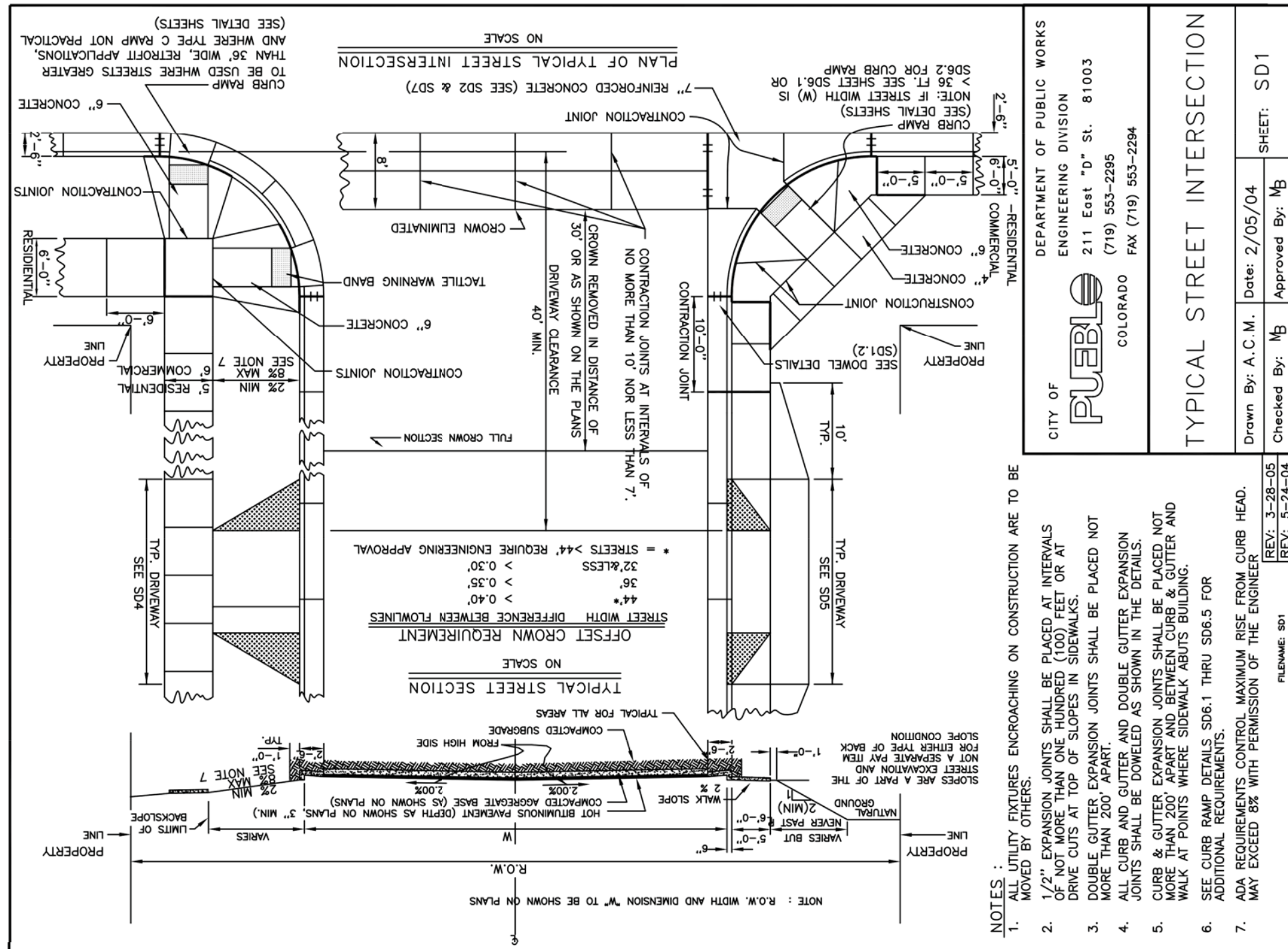
**JOINING NOTE:**  
1. CONTRACTOR SHALL INSTALL CONTROL JOINTS ON ALL PRIVATE WALKS PER THE CITY OF PUEBLO STANDARD DETAILS.

**GENERAL NOTES:**  
1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC., IN APRIL, 2016.  
2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
4. SEE BENCHMARKS: VERTICAL DATUM IS NAVD83 USING GEOID 128 TO DERIVE ELEVATIONS.

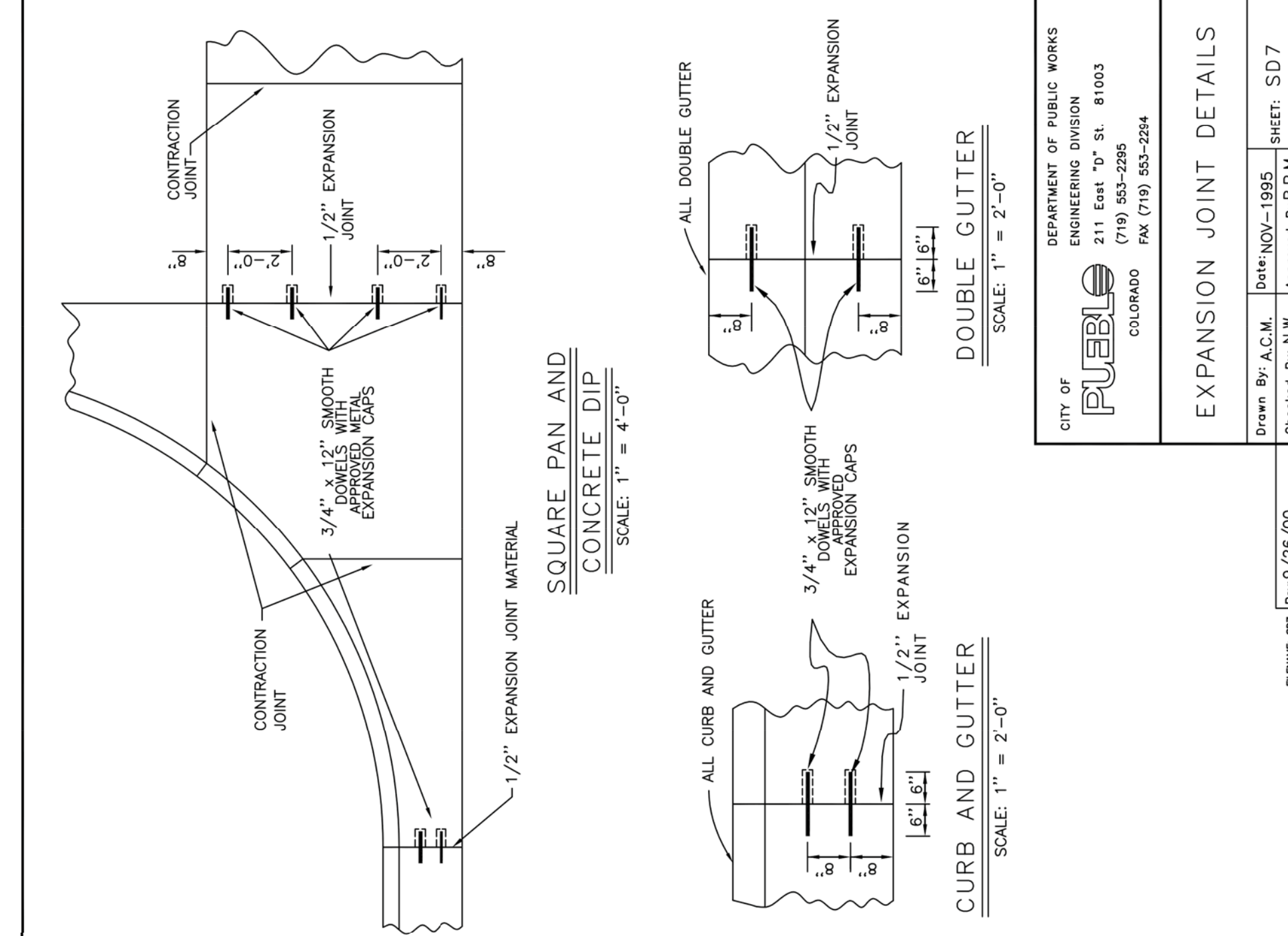


MATCH LINE (C3.4) MATCH LINE (C3.3)

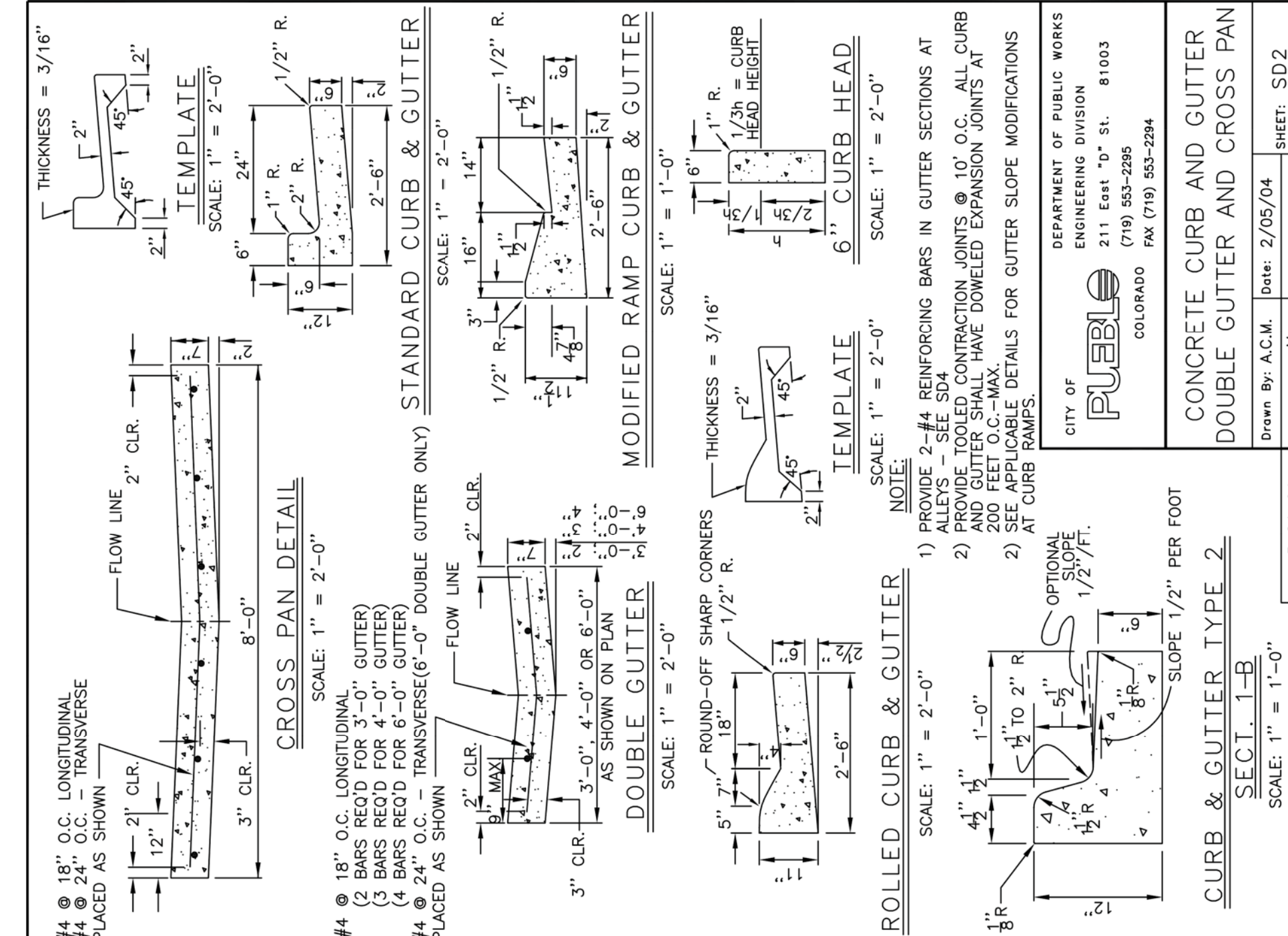




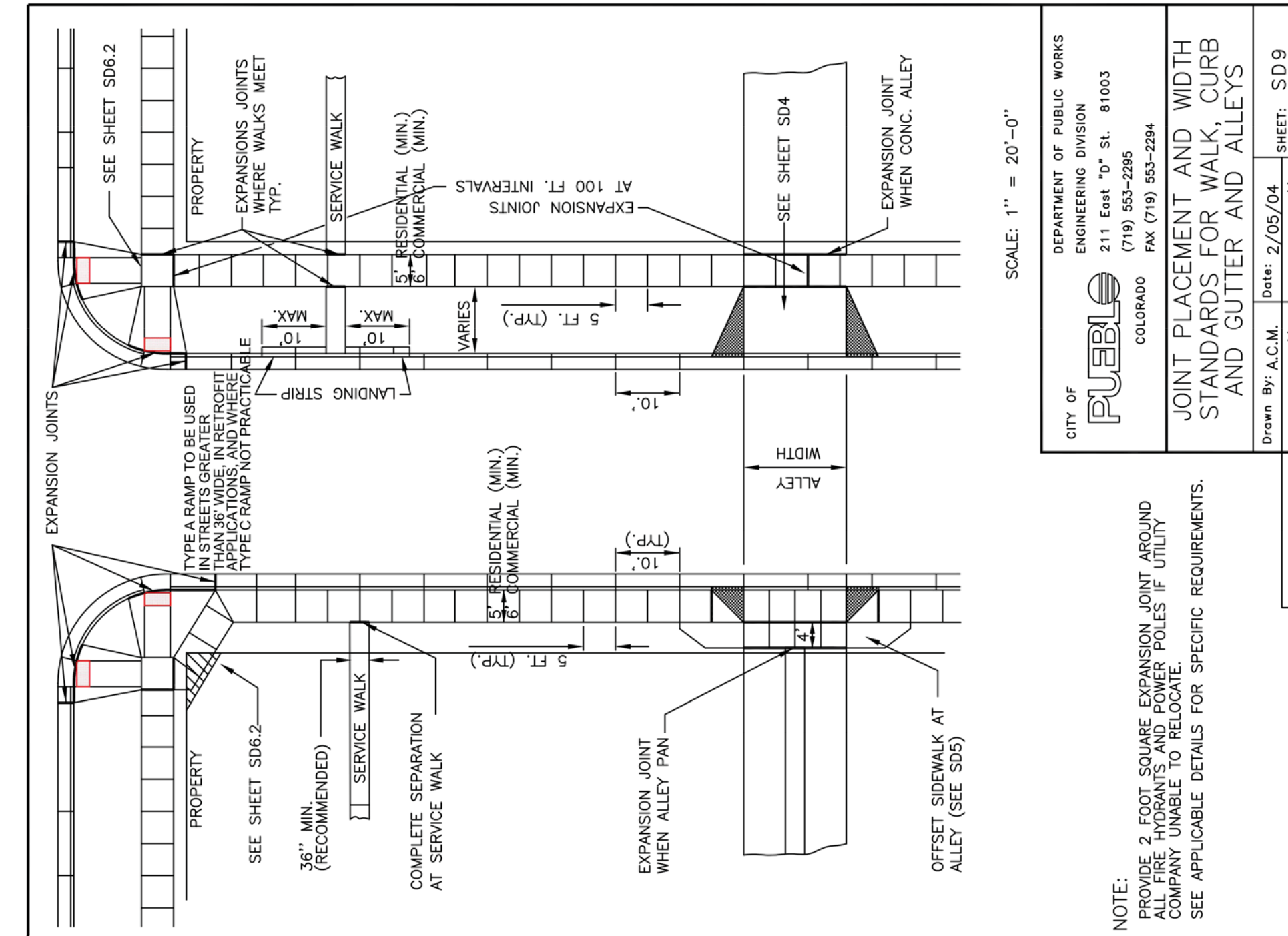
DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION CITY OF PUEBLO COLORADO	211 644 "D" SL. 81033 (719) 553-2295 FAX (719) 553-2294
Drawn By: A.C.M.   Date: 2/05/04   SHEET: SD1	Checked By: M.B.   Approved By: M.B.



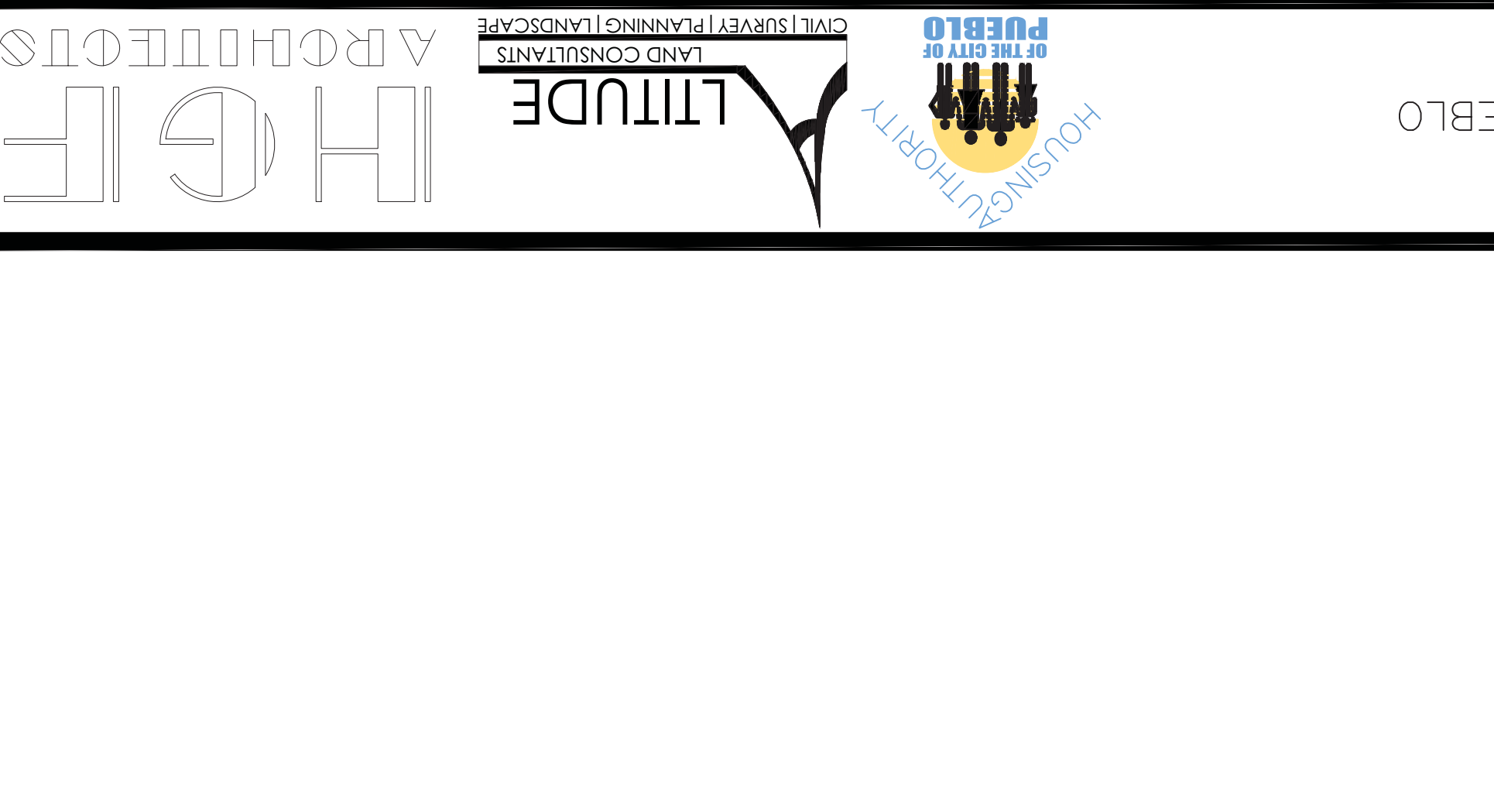
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Drawn By: A.C.M.   Date: 02/05/04   SHEET: SD7	Checked By: N.W.   Approved By: P.M.



DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION CITY OF PUEBLO COLORADO	211 644 "D" SL. 81033 (719) 553-2295 FAX (719) 553-2294
Drawn By: A.C.M.   Date: 2/05/04   SHEET: SD2	Checked By: M.B.   Approved By: P.M.

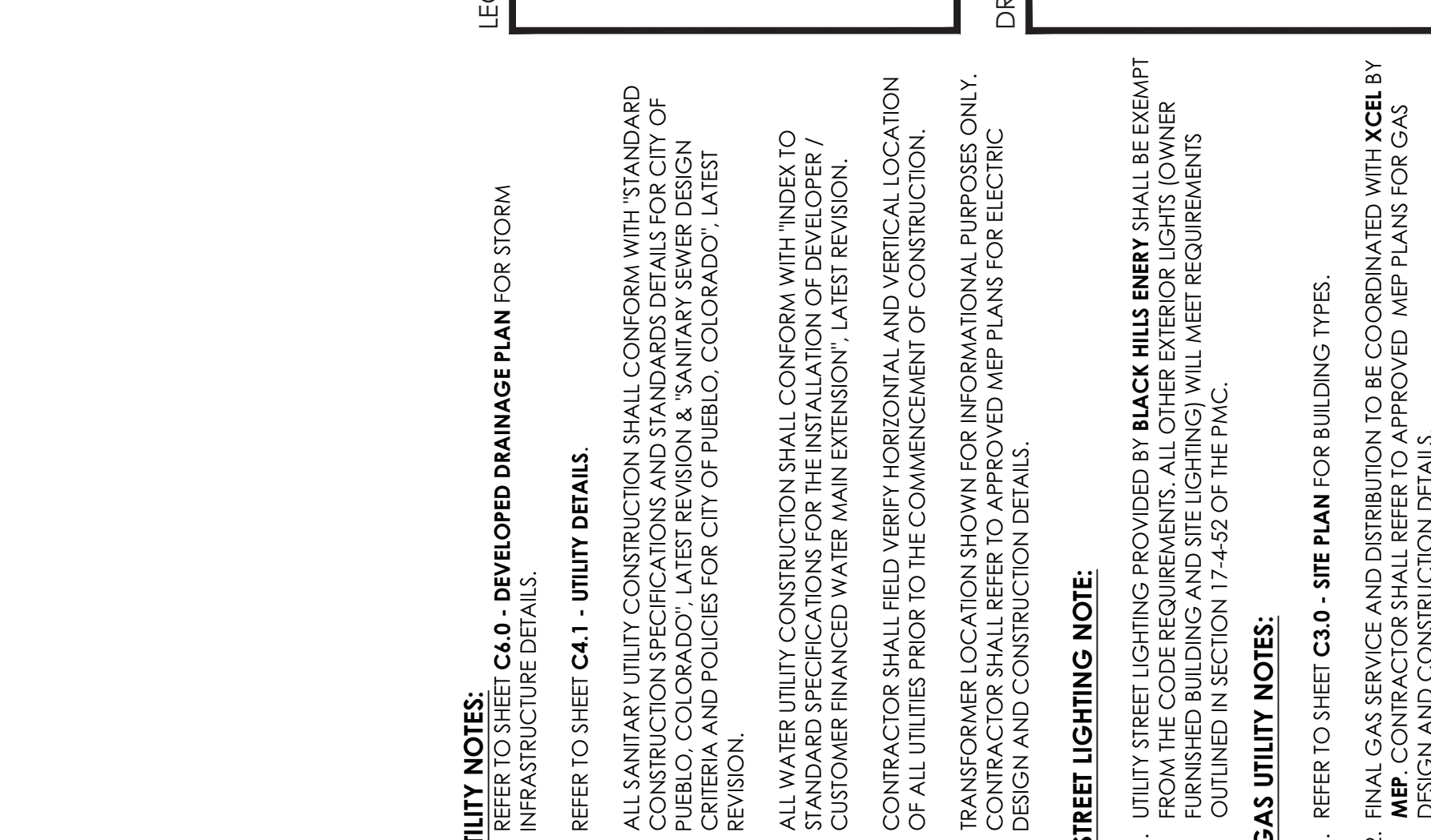
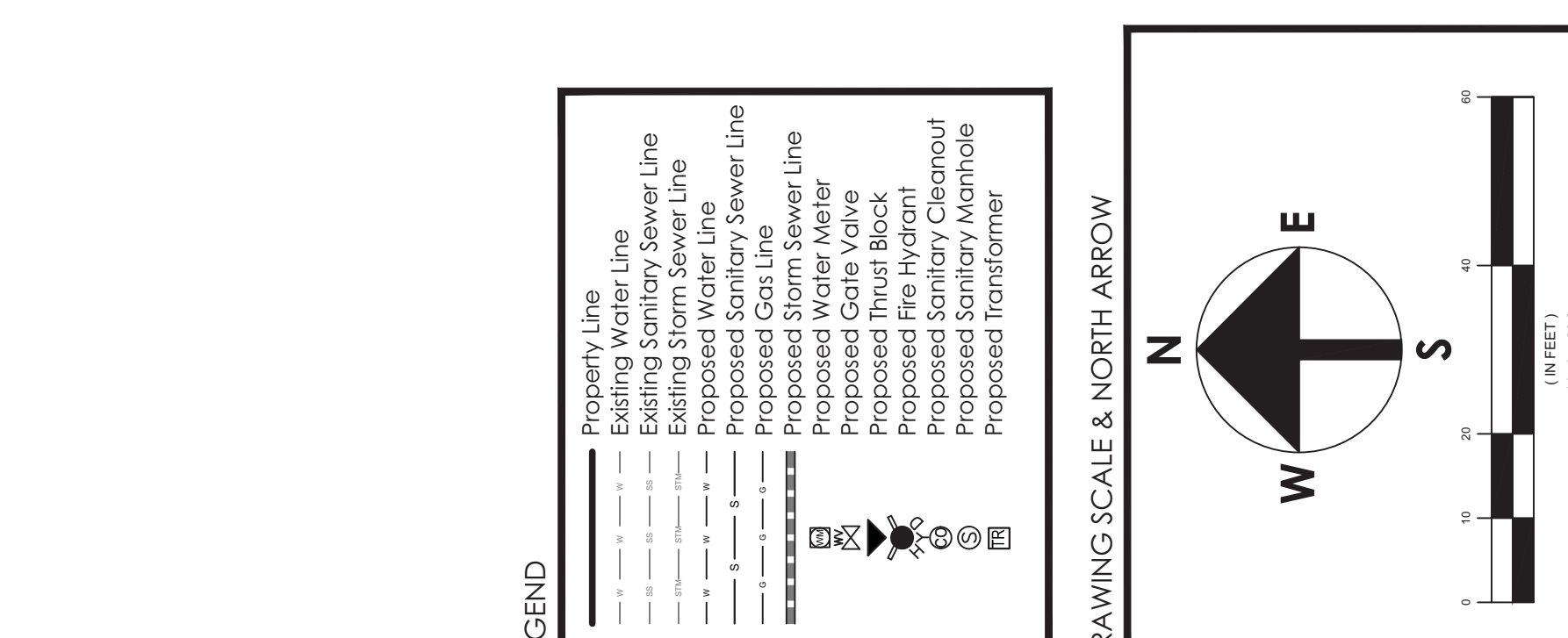
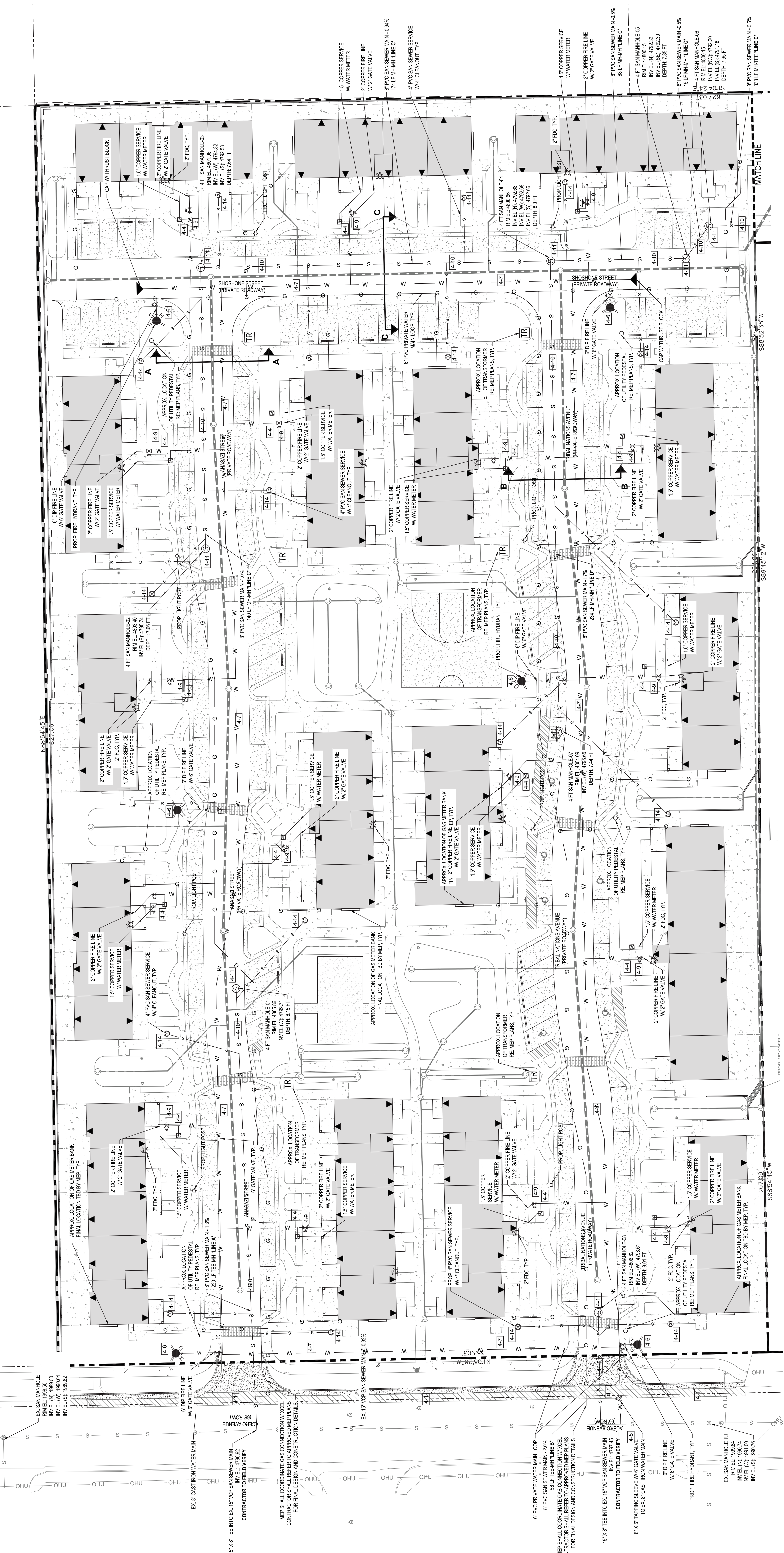


DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION CITY OF PUEBLO COLORADO	211 644 "D" SL. 81033 (719) 553-2295 FAX (719) 553-2294
Drawn By: A.C.M.   Date: 2/05/04   SHEET: SD9	Checked By: M.B.   Approved By: M.B.



DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION CITY OF PUEBLO COLORADO	211 644 "D" SL. 81033 (719) 553-2295 FAX (719) 553-2294
Drawn By: A.C.M.   Date: 2/05/04   SHEET: SD1	Checked By: M.B.   Approved By: M.B.





**UTILITY NOTES:**

- REFER TO SHEET C4.0 - DEVELOPED DRAINAGE PLAN FOR STORM INFRASTRUCTURE DETAILS.
- REFER TO SHEET C4.1 - UTILITY DETAILS.
- ALL SANITARY UTILITY CONSTRUCTION SHALL CONFORM WITH STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CITY OF PUEBLO, COLORADO. LATEST EDITION SHALL BE USED UNLESS OTHERWISE SPECIFIED IN THE CRITERIA AND POLICIES FOR CITY OF PUEBLO, COLORADO, LATEST EDITION.
- ALL WATER UTILITY CONSTRUCTION SHALL CONFORM WITH INDEXED STANDARD SPECIFICATIONS FOR THE INSTALLATION OF DEVELOPER / CUSTOMER FINANCED WATER MAIN EXTENSION, LATEST REVISION.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- TRANSFORMER LOCATION SHALL BE VERIFIED FROM NATIONAL FIREWORKS ONLY. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR ELECTRIC DESIGN AND CONSTRUCTION DETAILS.

**STREET LIGHTING NOTE:**

- UTILITY STREET LIGHTING PROVIDED BY BLACK HILLS ENERGY SHALL BE EXEMPT FROM THE CODE REQUIREMENTS. ALL OTHER EXTERIOR LIGHTS OWNERS FURNISHED BUILDING AND SITE LIGHTING WILL MEET REQUIREMENTS OUTLINED IN SECTION 17-4-52 OF THE P.M.C.

**GAS UTILITY NOTES:**

- REFER TO SHEET C3.0 - SITE PLAN FOR BUILDING TYPES.
- FINAL GAS SERVICE AND DISTRIBUTION TO BE COORDINATED WITH XCEL BY MEP CONTRACTOR. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR GAS DESIGN AND CONSTRUCTION DETAILS.

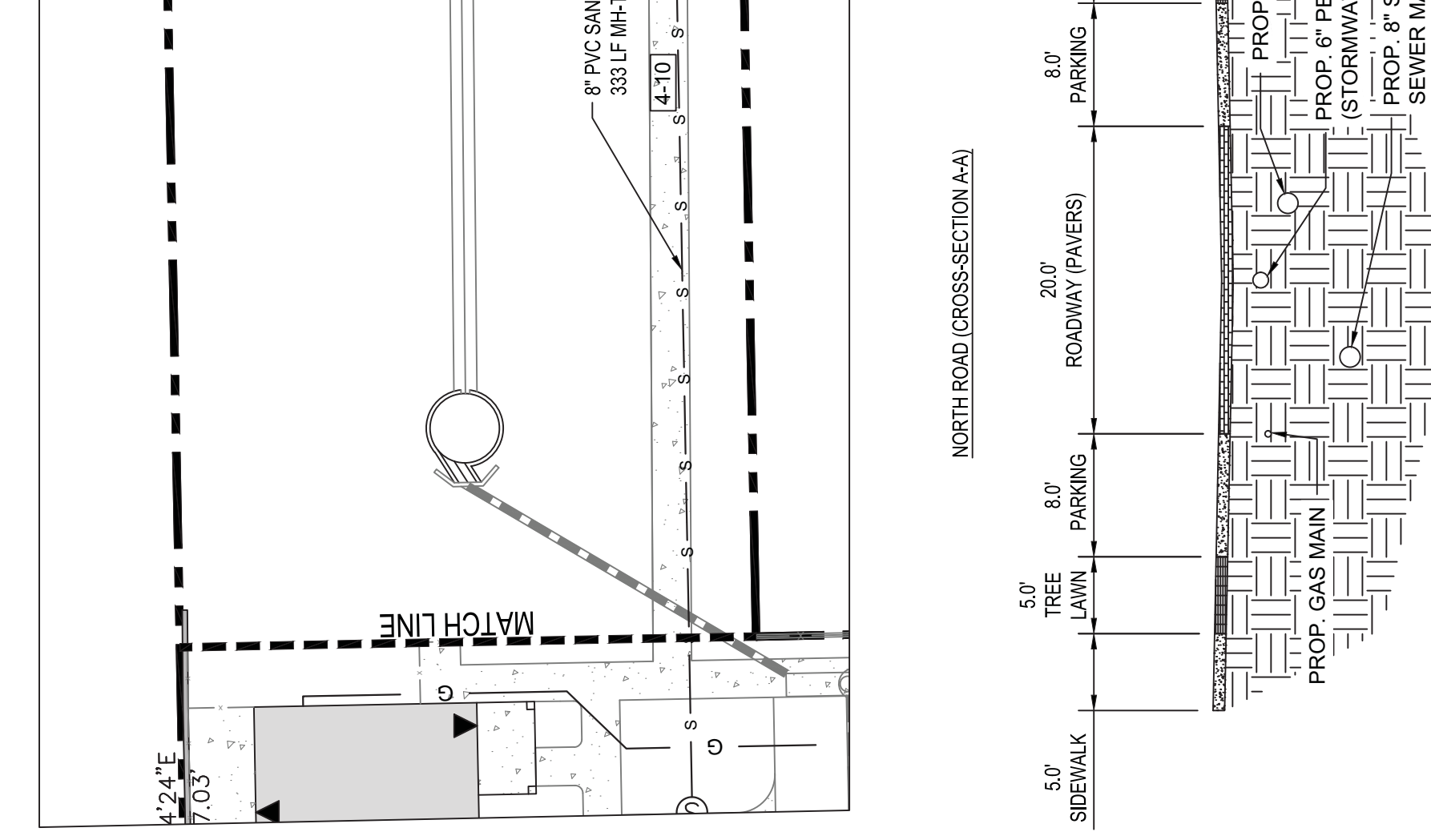
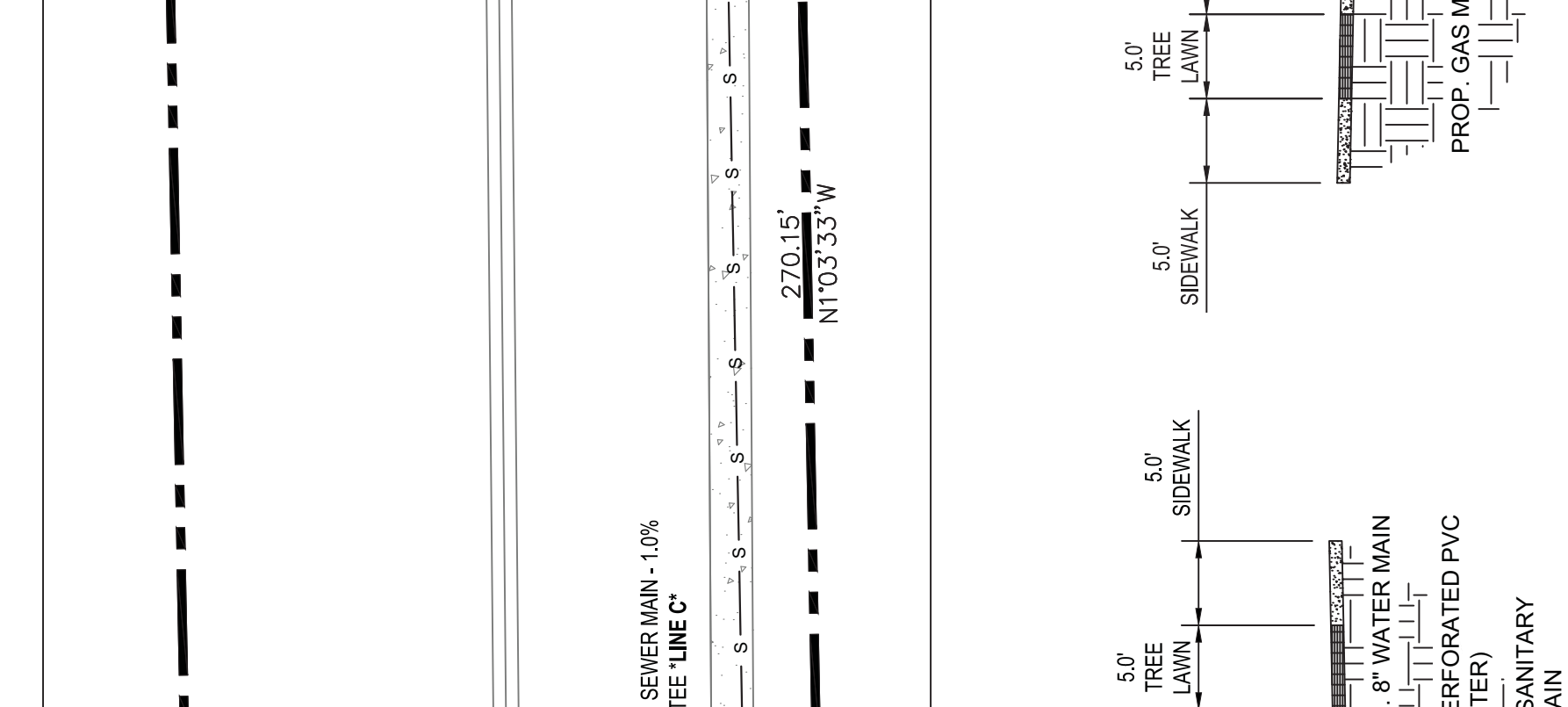
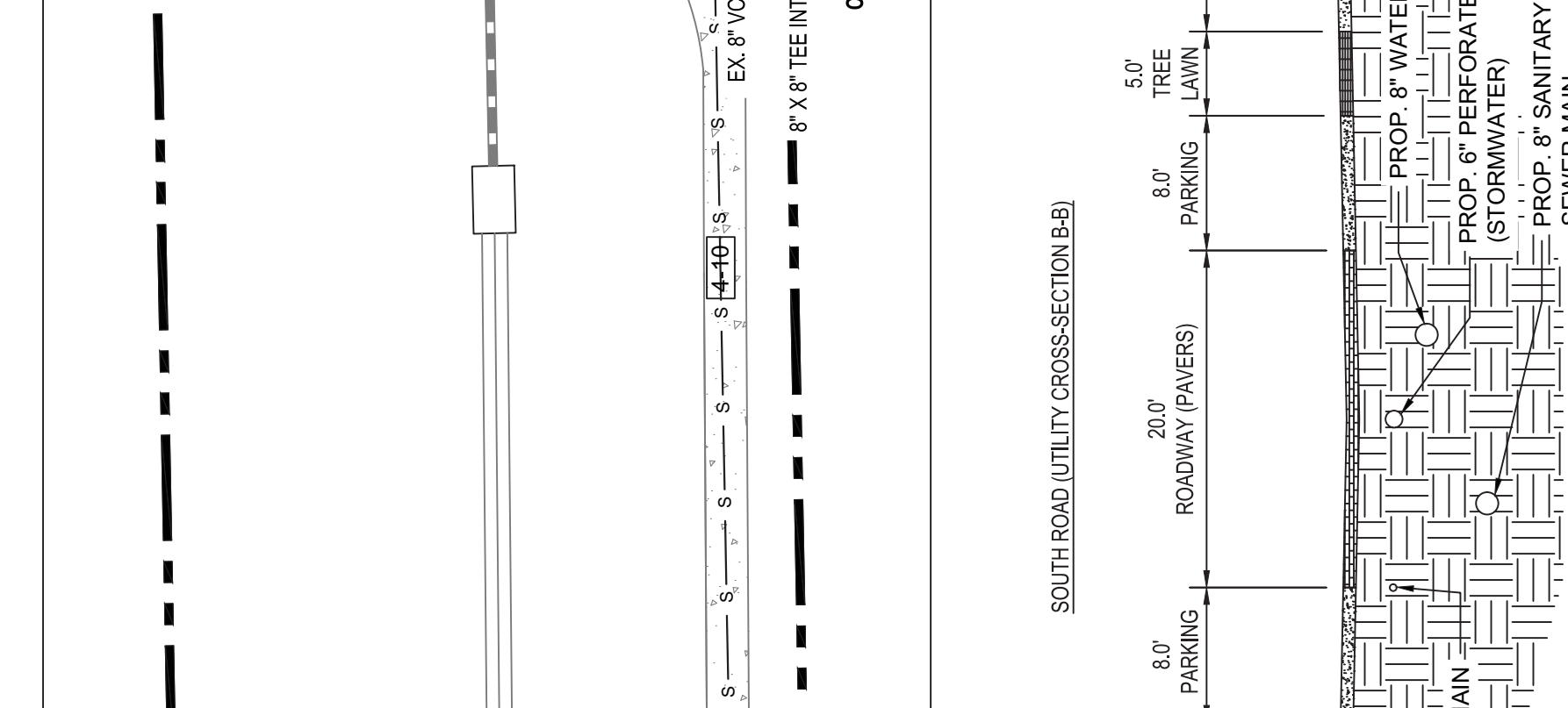
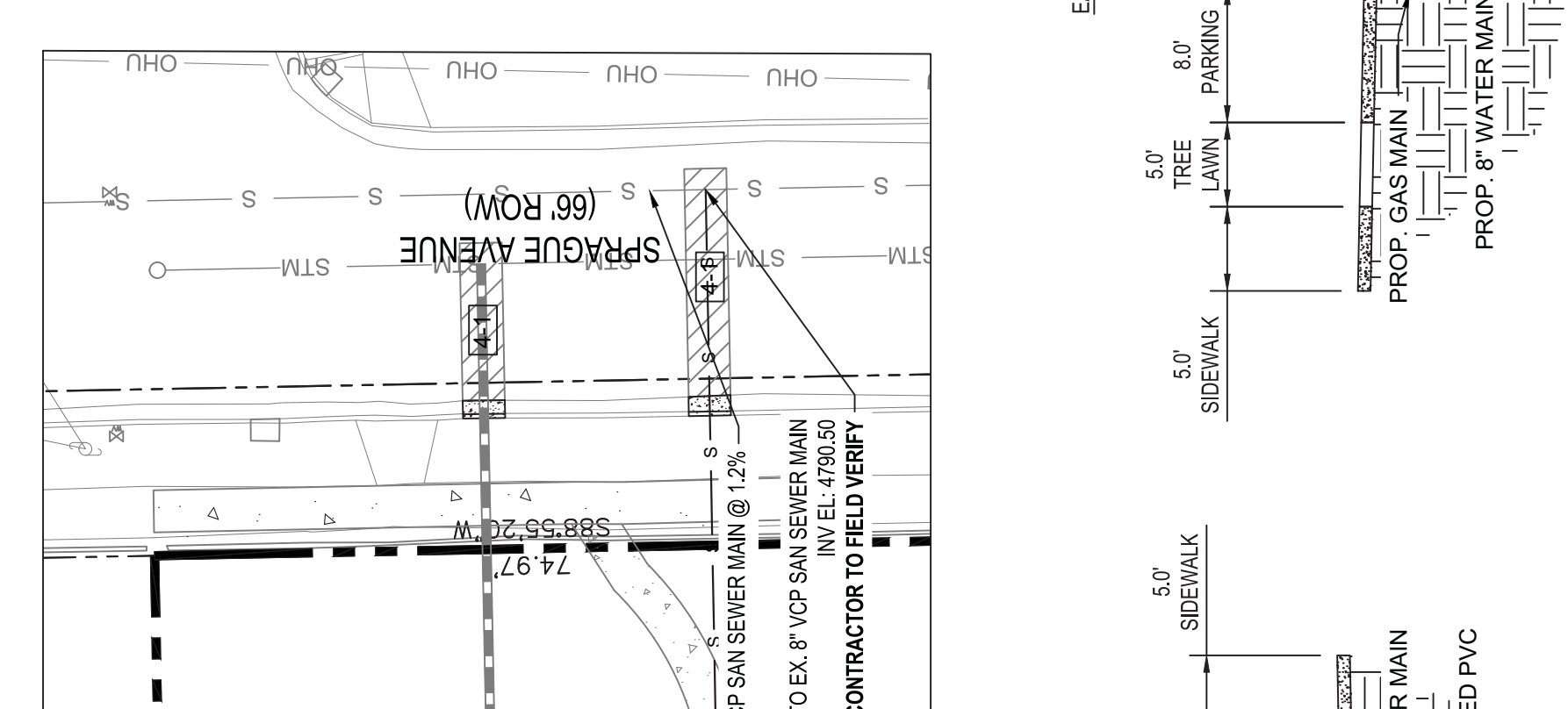
**Table 4**  
**Upland Townhomes - Utility Quantities (TOTAL)**

Material	Quantity
Sanitary Sewer	
8" PVC Main Line	1,280 LF
4" PVC Service Line	743 LF
4" PVC Cleanout	17
Water	
6" Water Main	1,555 LF
6" Gate Valves	6
2" Copper Fire Line	711 LF
1.5" Copper Domestic Line	308 LF
Cap & Thrust Block	2
6" DIP Fire Line	118 LF
Fire Hydrant	6
2" XZ 41.3" Copper T	17
1.5" Water Meter	17
8"x6" Tapping Sleeve & Gate Valve	1
2" FDC	17

*Note: Service line quantities do not account for the additional pipe to carry lines into buildings. The above quantities have been provided as a courtesy. It shall be the responsibility of the contractor to confirm quantities.*

**DETAIL KEY (SEE SHEET C4.1):**

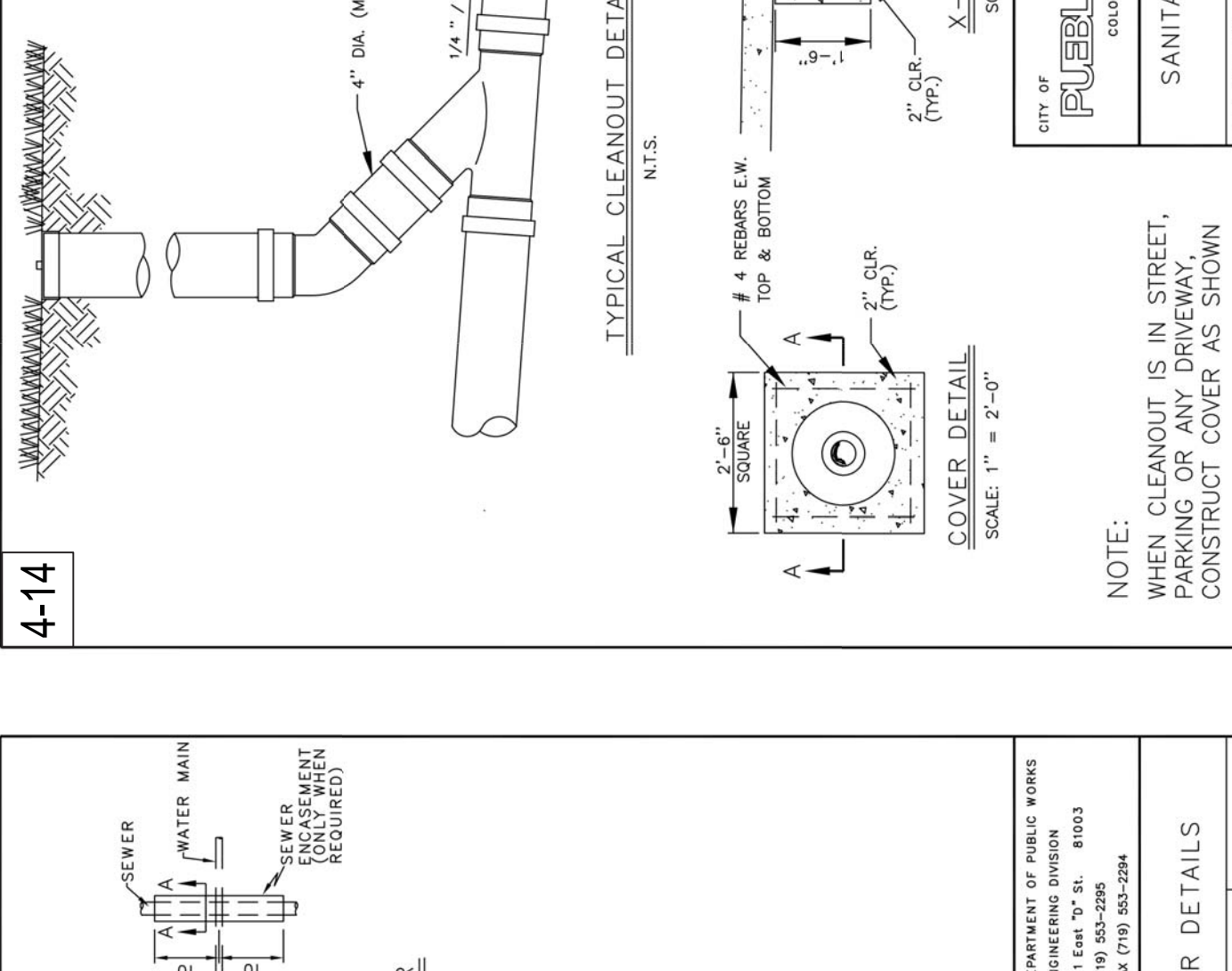
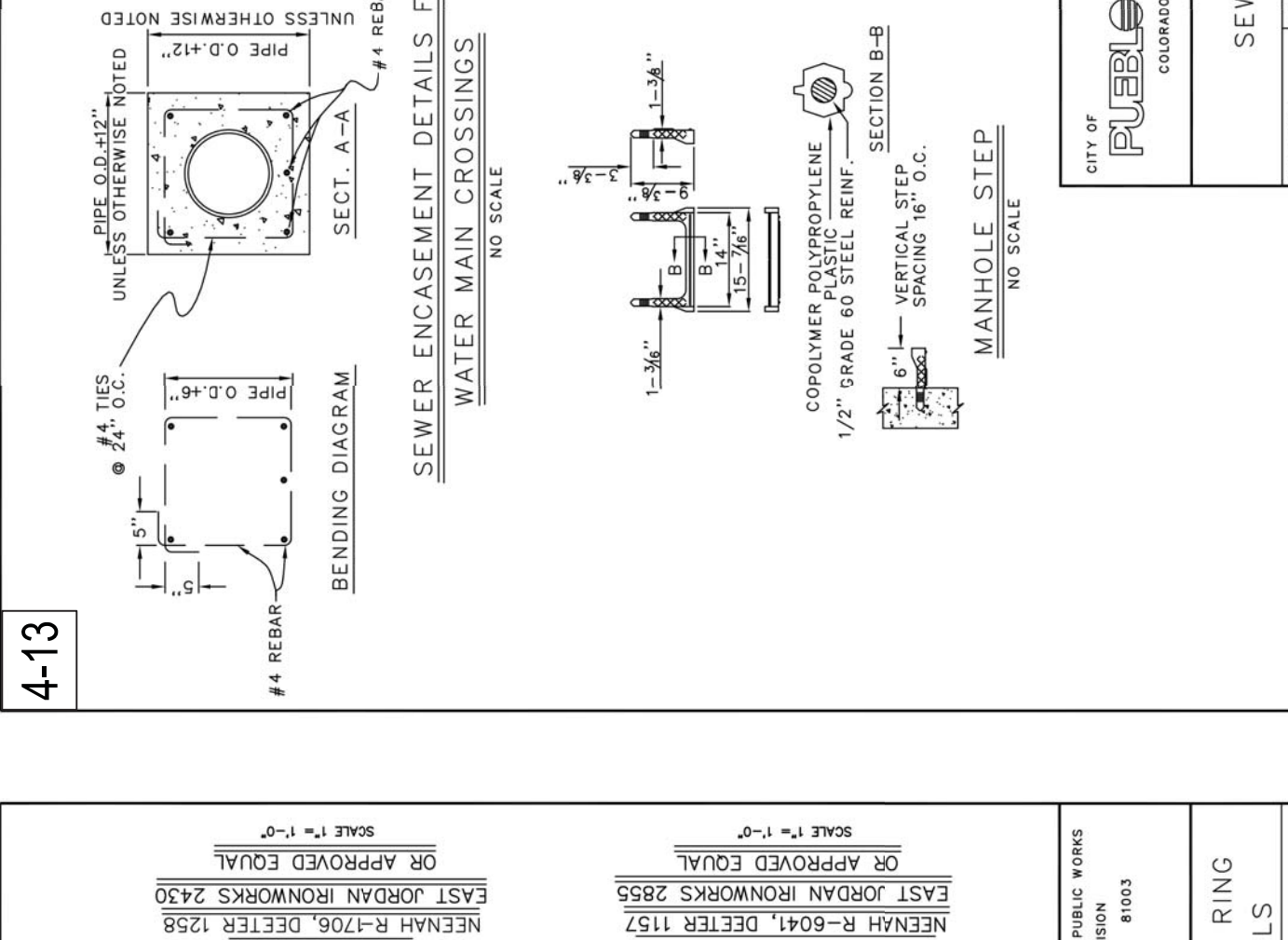
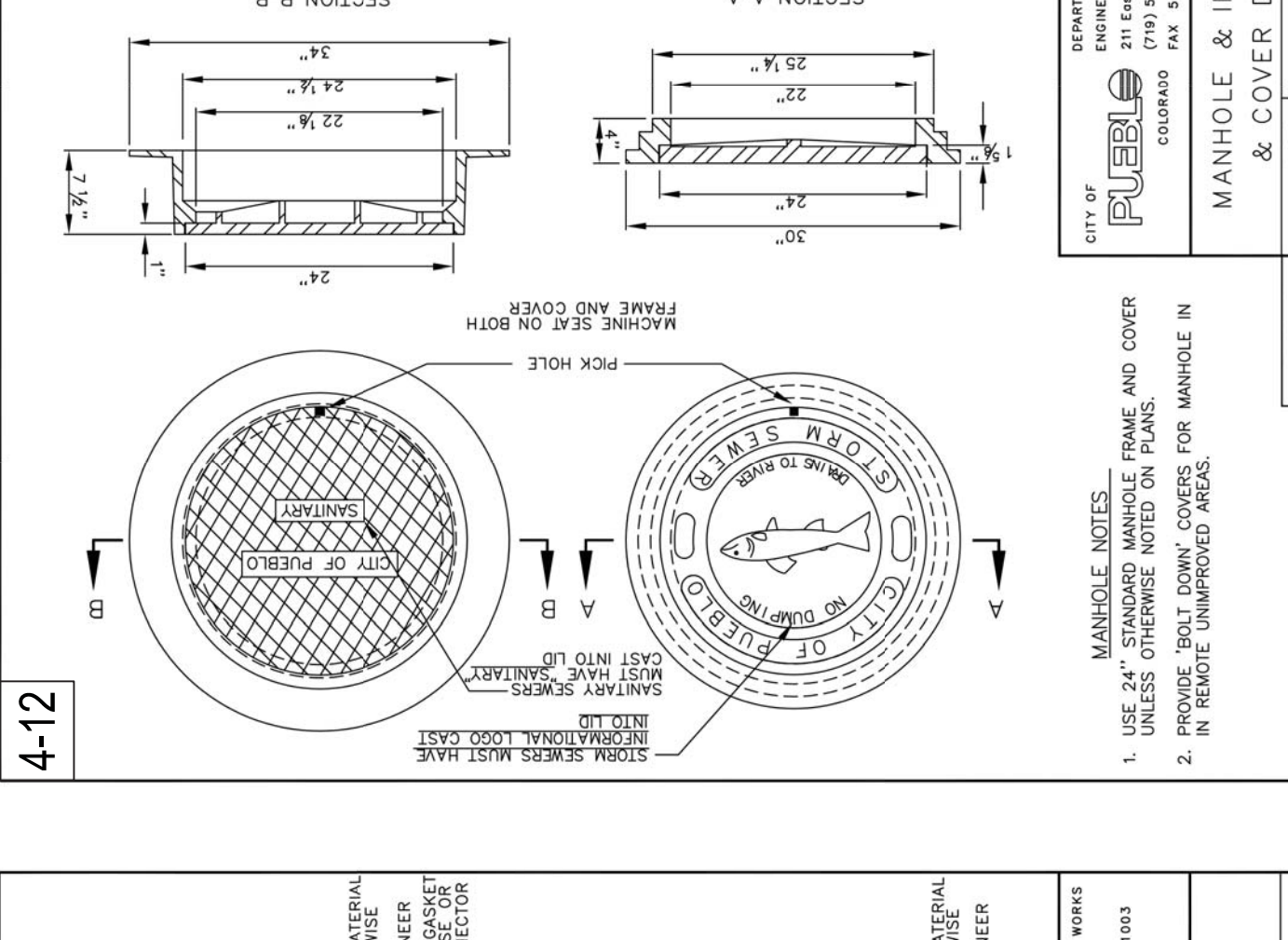
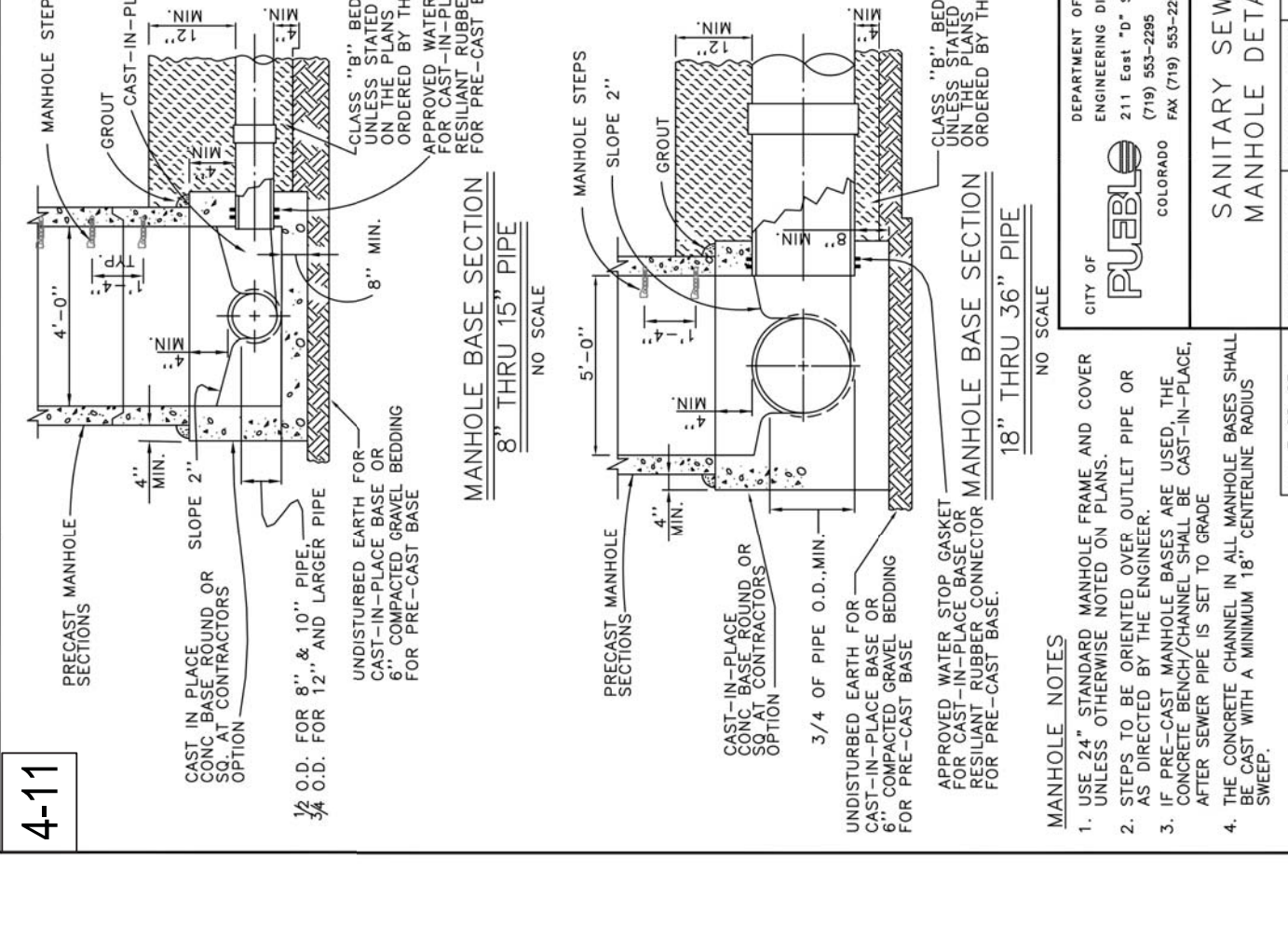
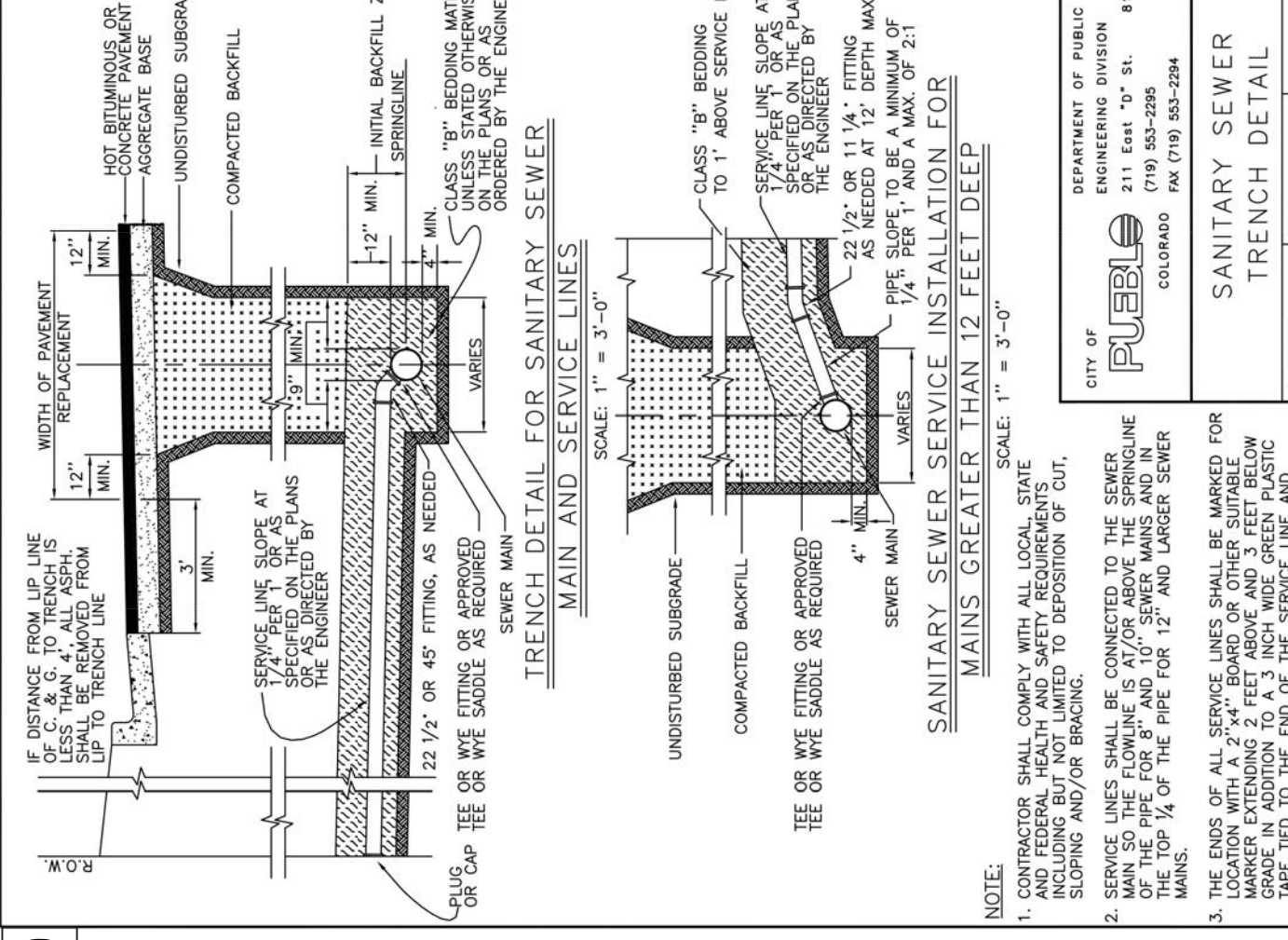
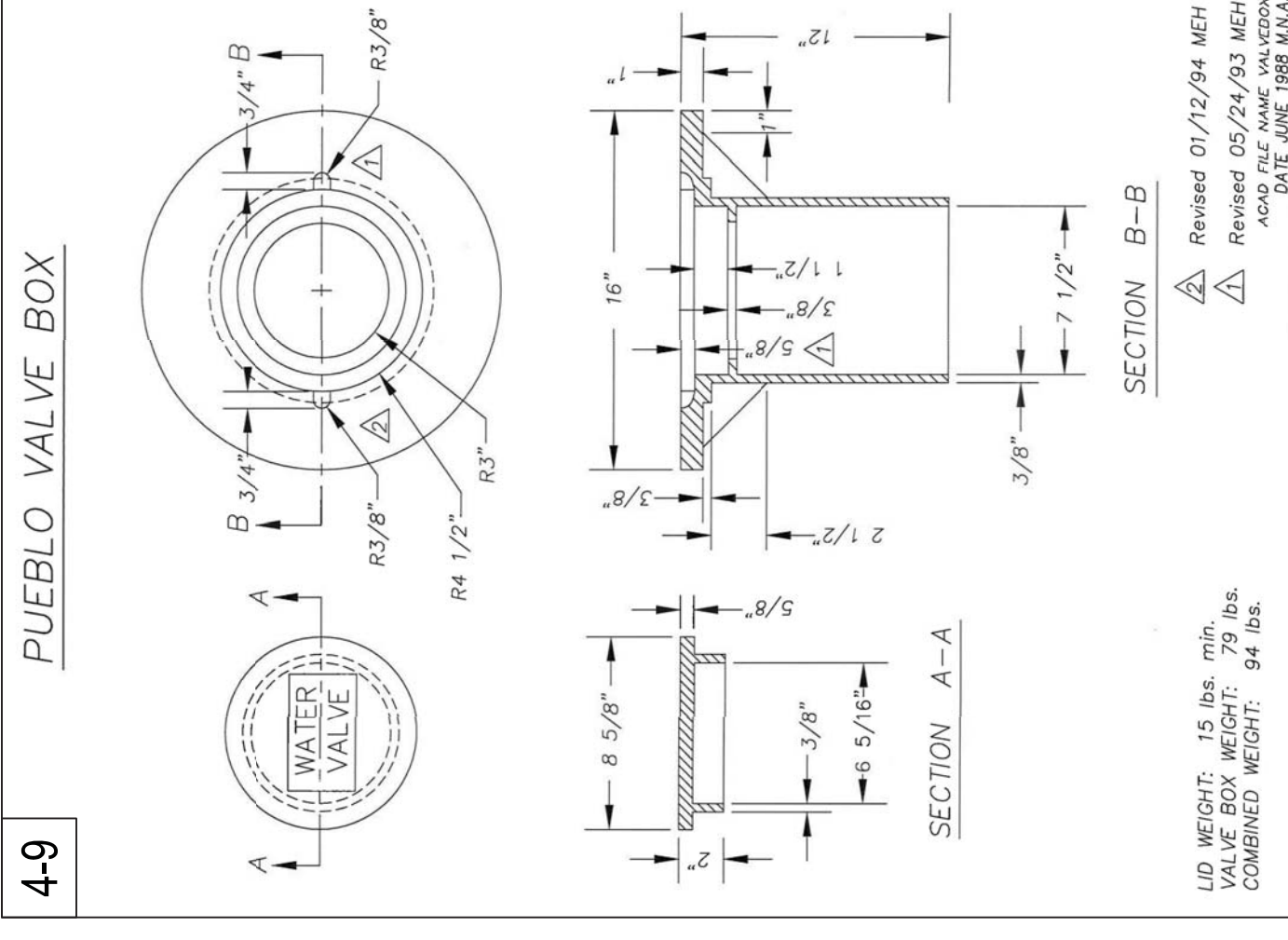
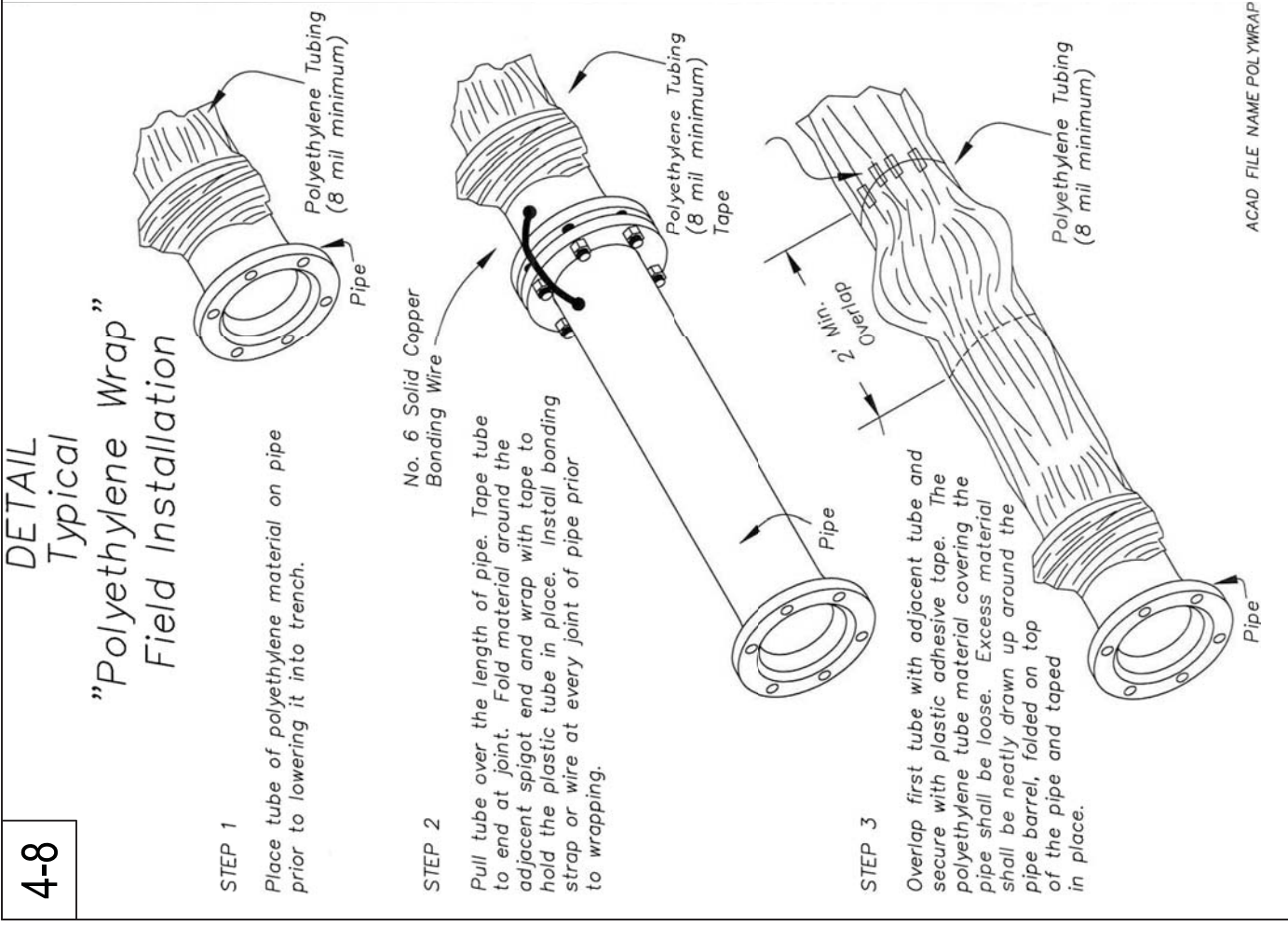
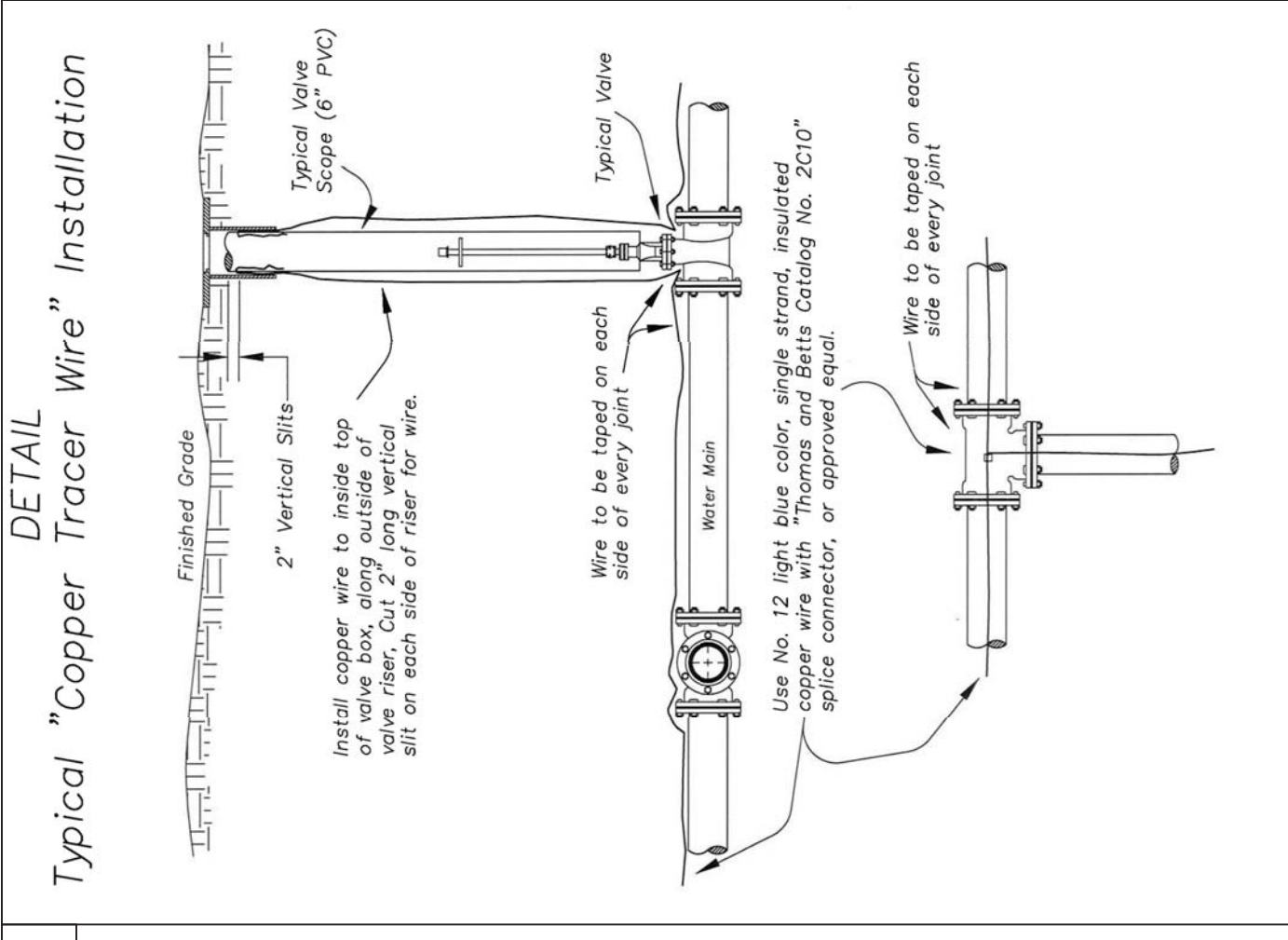
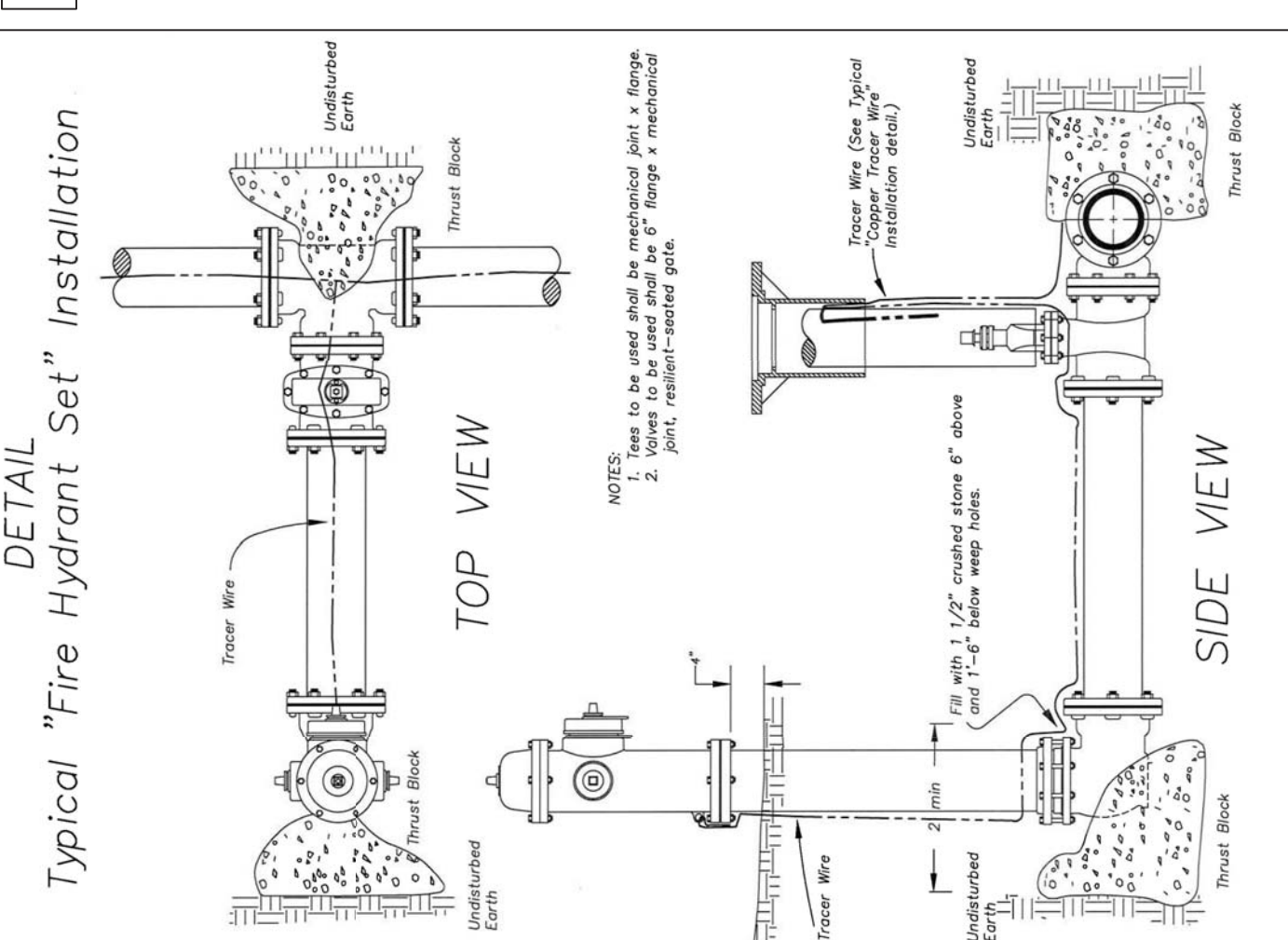
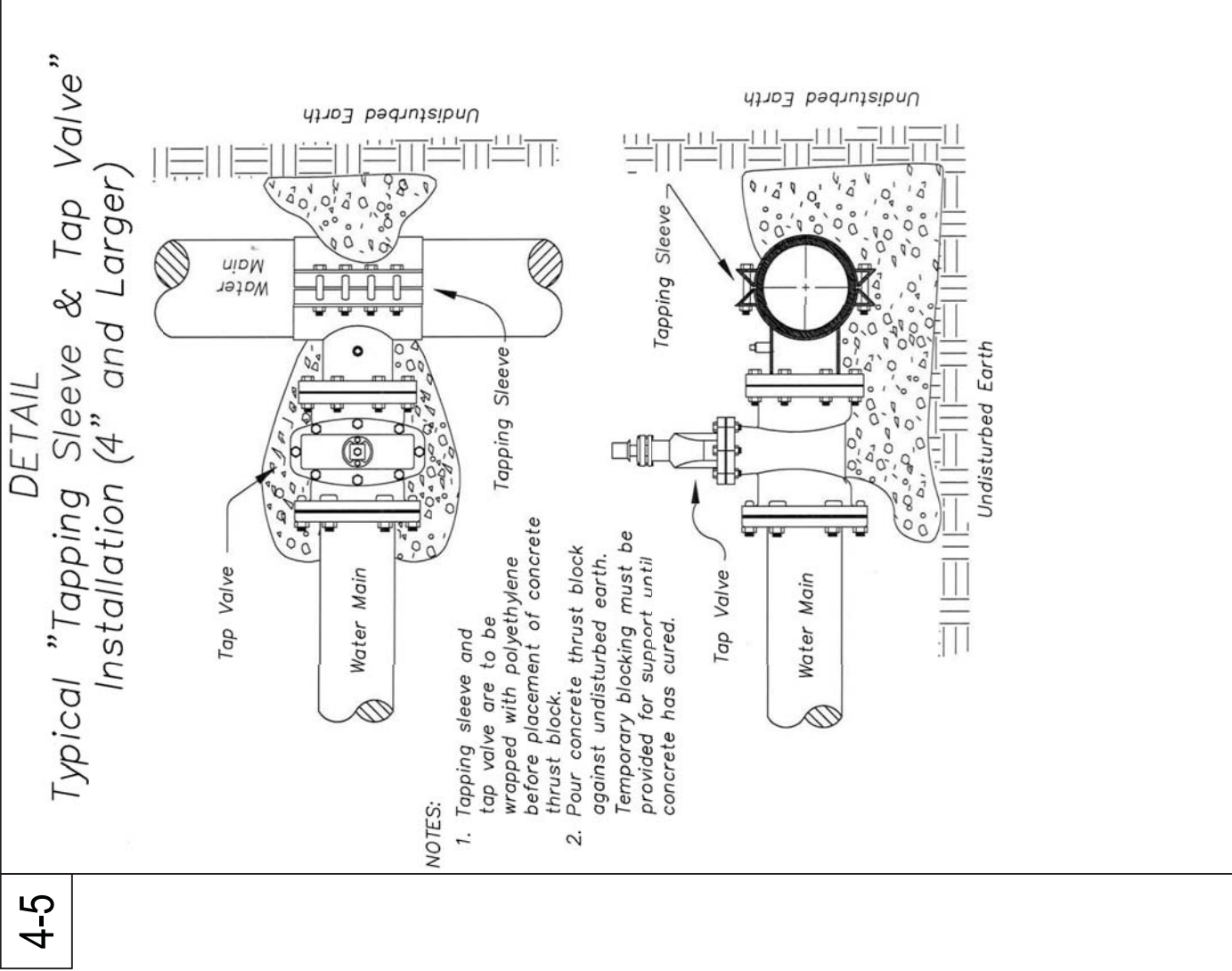
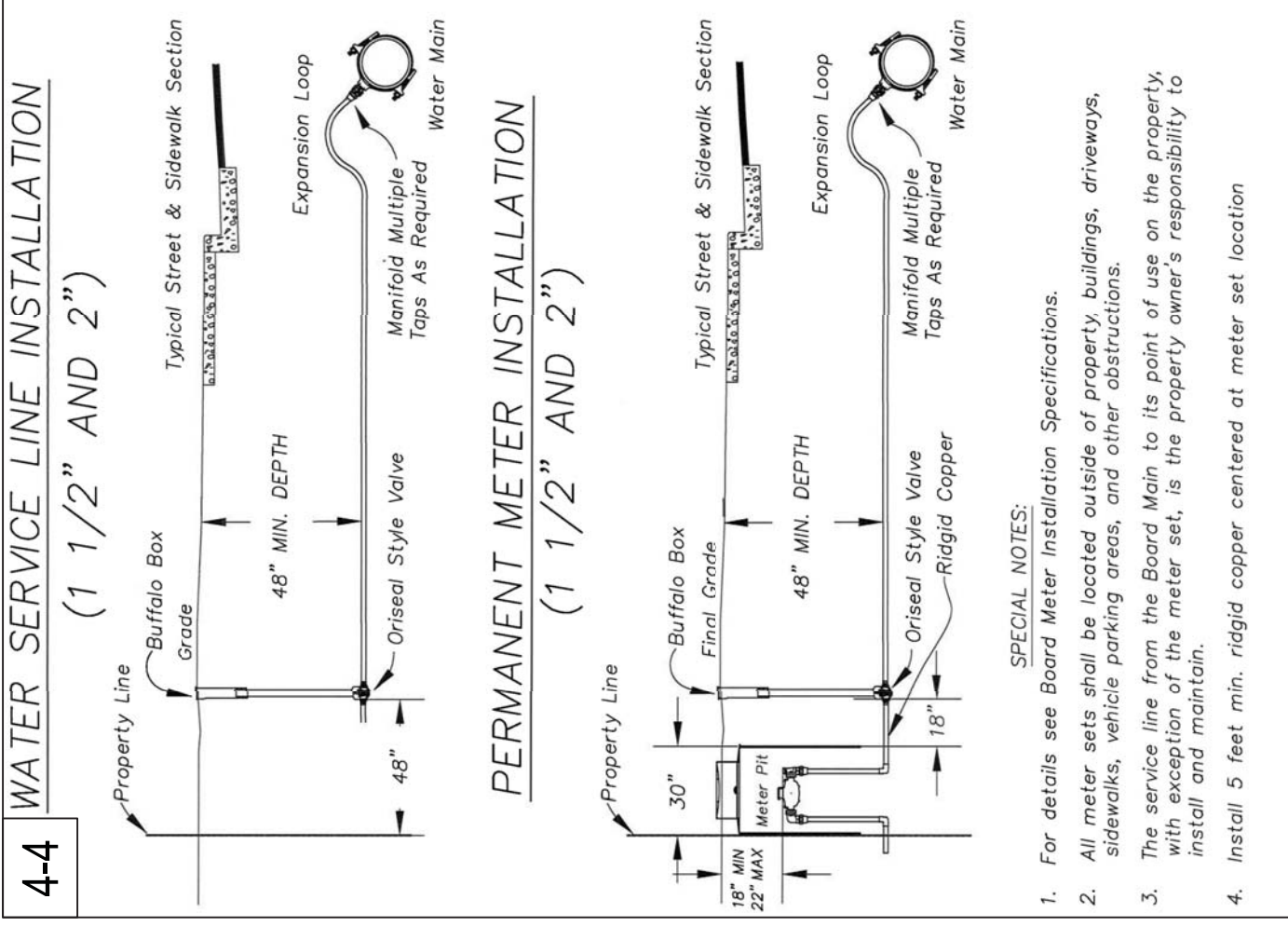
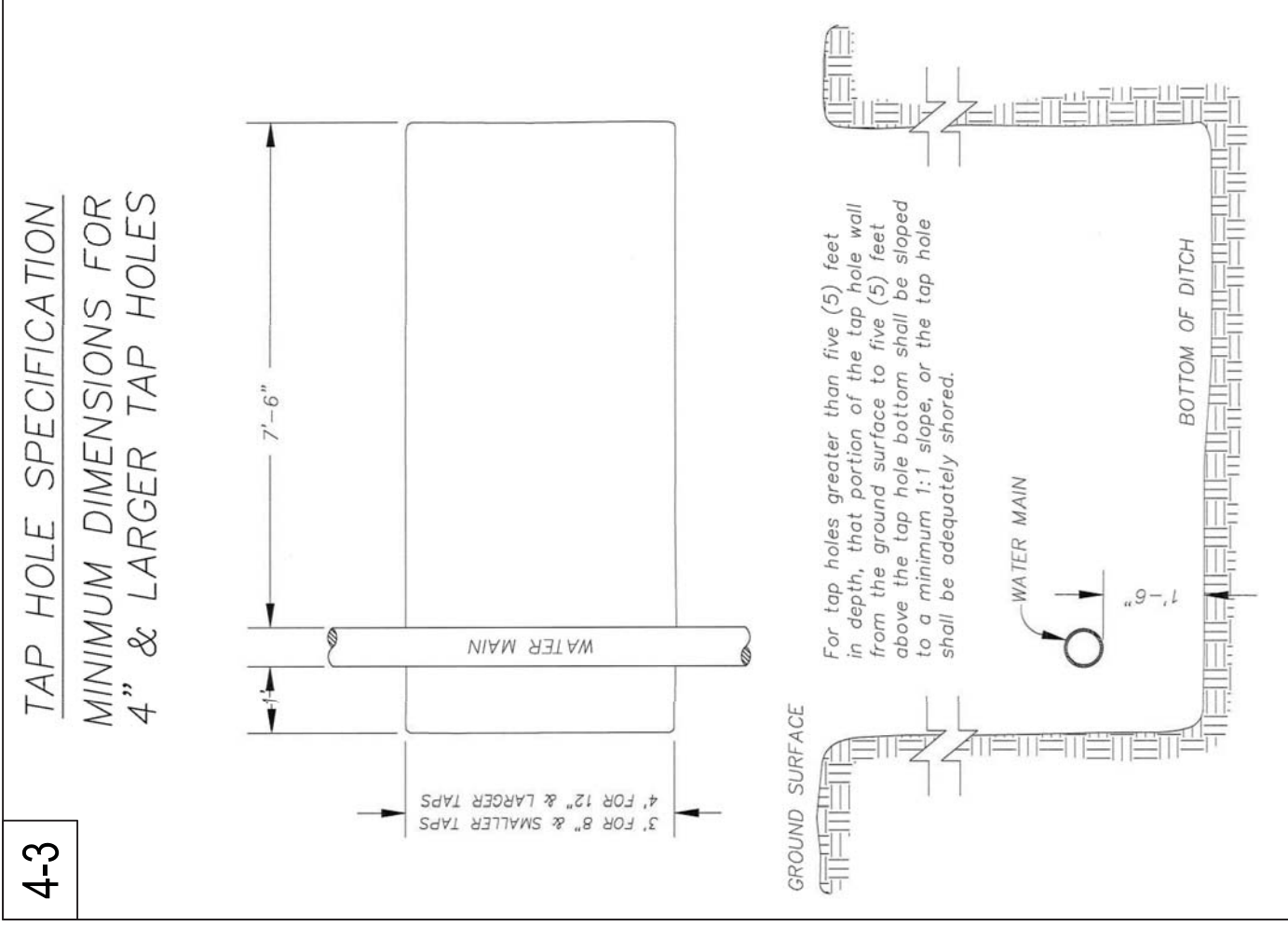
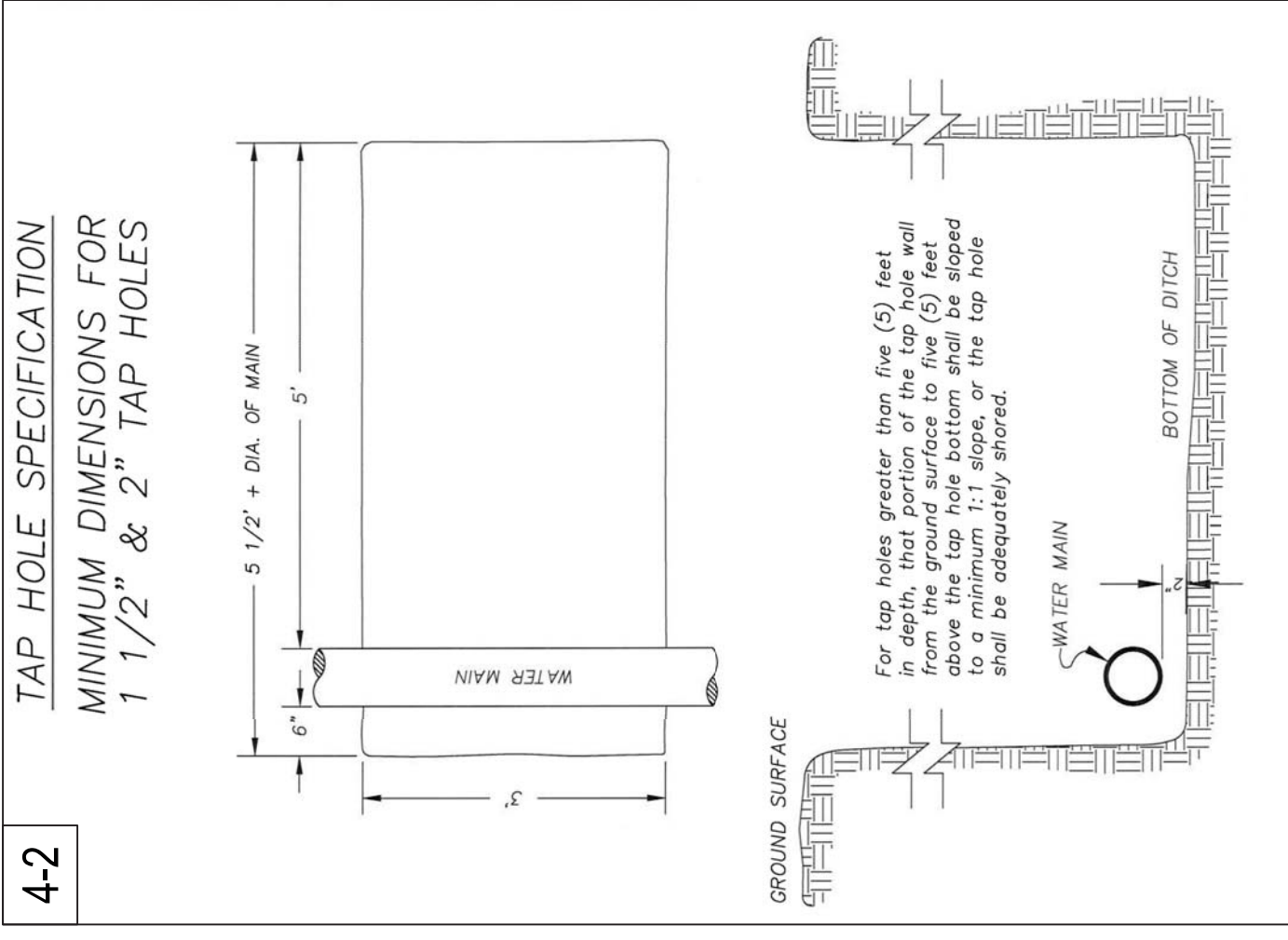
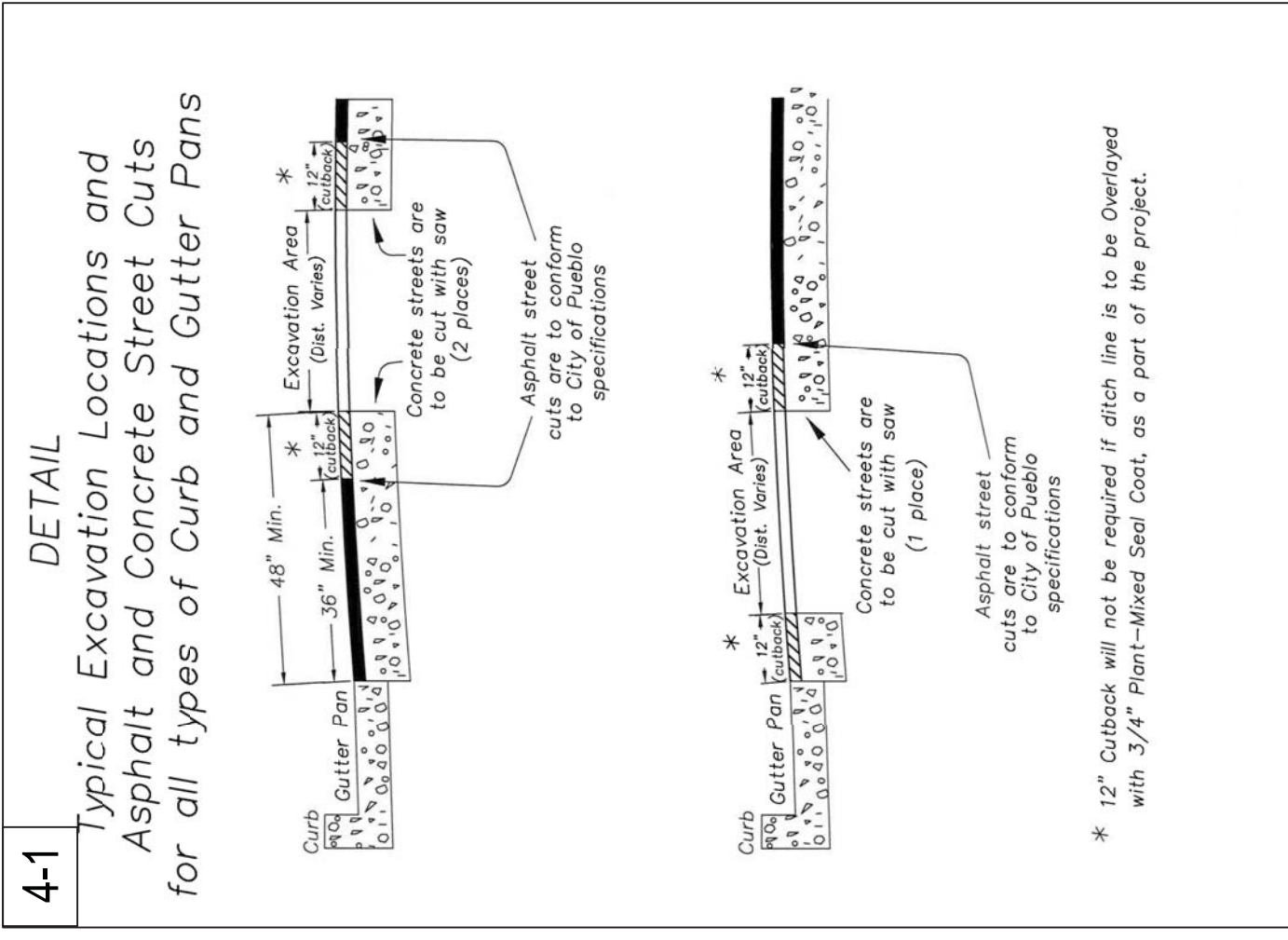
- 4.1 ASPHALT SAW CUT
- 4.2 1/4" HOLE SPEC. 1" & 1.5" TAP HOLES
- 4.3 1/4" HOLE SPEC. 4" & LARGER TAP HOLES
- 4.4 WATER SERVICE LINE INSTALLATION
- 4.5 TAPPING SLEEVE AND VALVE
- 4.6 FIRE HYDRANT INSTALLATION
- 4.7 COPPER TRACE WIRE
- 4.8 POLYETHYLENE WRAP
- 4.9 PUEBLO VALVE BOX
- 4.10 SANITARY SEWER TRENCH DETAIL
- 4.11 SANITARY SEWER MANHOLE DETAILS
- 4.12 MANHOLE & INLET RINGS & COVER DETAILS
- 4.13 SEWER DETAILS
- 4.14 SANITARY SEWER MAIN CLEANOUT



**GENERAL NOTES:**

- ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC. IN APRIL, 2016.
- UTILITIES SHOWN HEREON ARE BASED ON GRADE PLAN, EXISTENCE UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
- SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
- DATE: 03-29-2017





CITY OF PUEBLO  
 ENGINEERING DIVISION  
 1000 W. COLLEGE AVE.  
 PUEBLO, CO 81003  
 (719) 580-2300

SHEET: SANITARY SEWER TRENCH DETAIL  
 DATE: 03-29-2017  
 DRAWN: J.M.S.  
 CHECKED: E.T.R.  
 REVISIONS:

CITY OF PUEBLO  
 ENGINEERING DIVISION  
 1000 W. COLLEGE AVE.  
 PUEBLO, CO 81003  
 (719) 580-2300

SHEET: MANHOLE & INLET RING & COVER DETAILS  
 DATE: 03-29-2017  
 DRAWN: J.M.S.  
 CHECKED: E.T.R.  
 REVISIONS:

CITY OF PUEBLO  
 ENGINEERING DIVISION  
 1000 W. COLLEGE AVE.  
 PUEBLO, CO 81003  
 (719) 580-2300

SHEET: SEWER ENCASMENT DETAILS FOR WATER MAIN CROSSINGS  
 DATE: 03-29-2017  
 DRAWN: J.M.S.  
 CHECKED: E.T.R.  
 REVISIONS:

CITY OF PUEBLO  
 ENGINEERING DIVISION  
 1000 W. COLLEGE AVE.  
 PUEBLO, CO 81003  
 (719) 580-2300

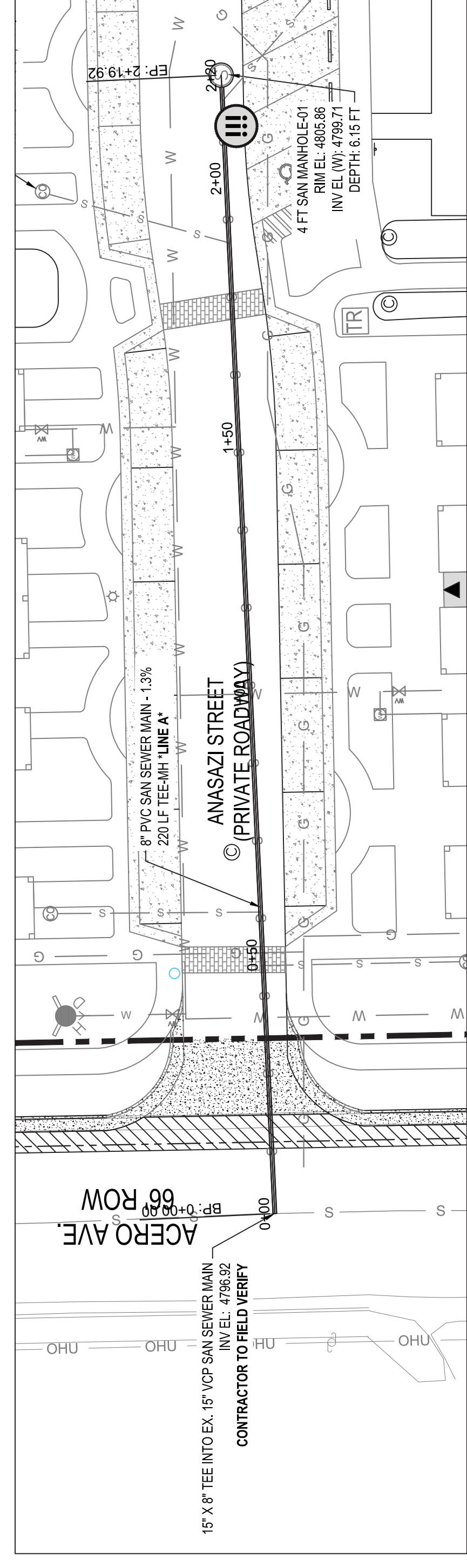
SHEET: PUEBLO VALVE BOX  
 DATE: 03-29-2017  
 DRAWN: J.M.S.  
 CHECKED: E.T.R.  
 REVISIONS:

CITY OF PUEBLO  
 ENGINEERING DIVISION  
 1000 W. COLLEGE AVE.  
 PUEBLO, CO 81003  
 (719) 580-2300

SHEET: TYPICAL CLEANOUT DETAIL  
 DATE: 03-29-2017  
 DRAWN: J.M.S.  
 CHECKED: E.T.R.  
 REVISIONS:

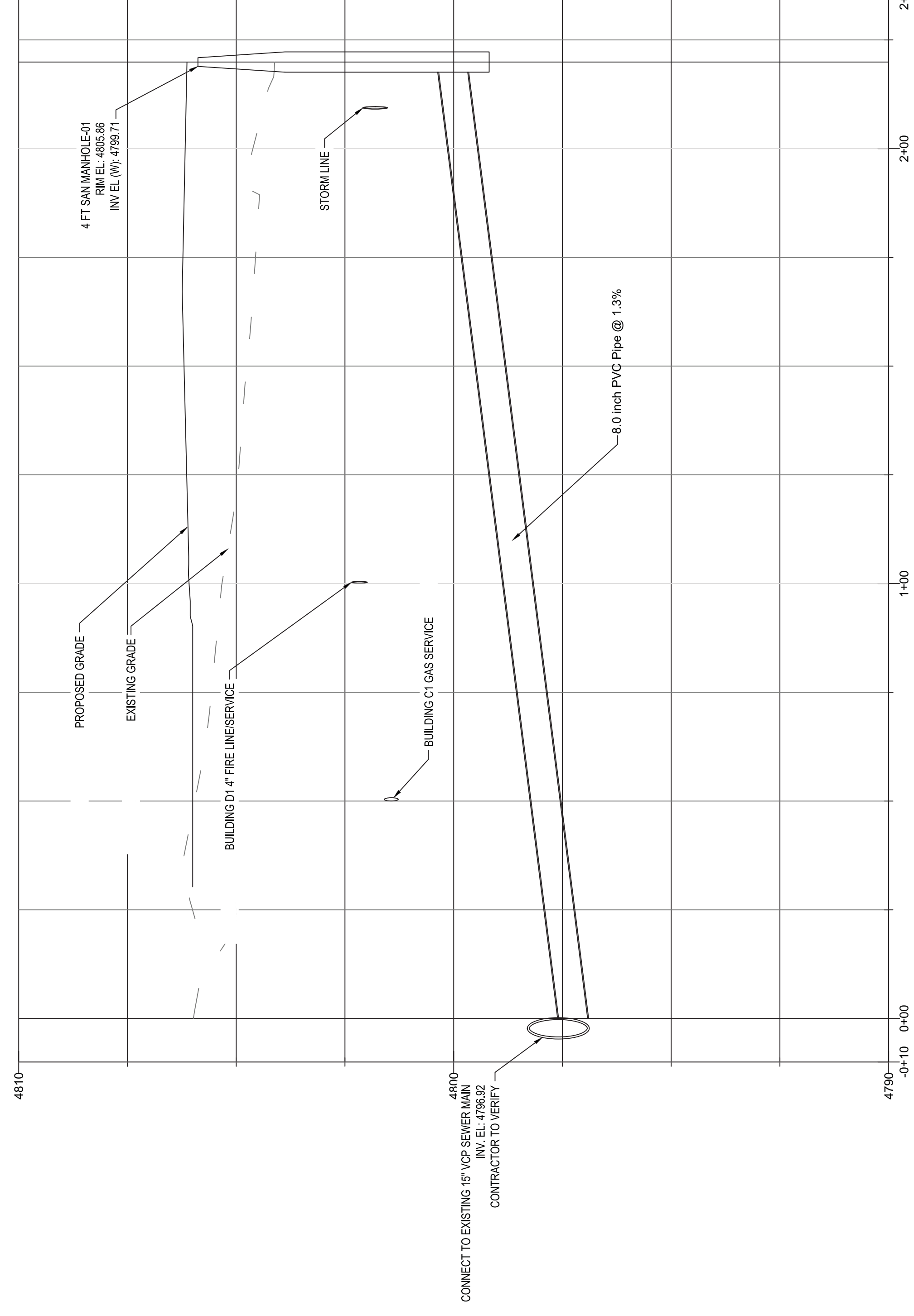


SANITARY "A" PLAN

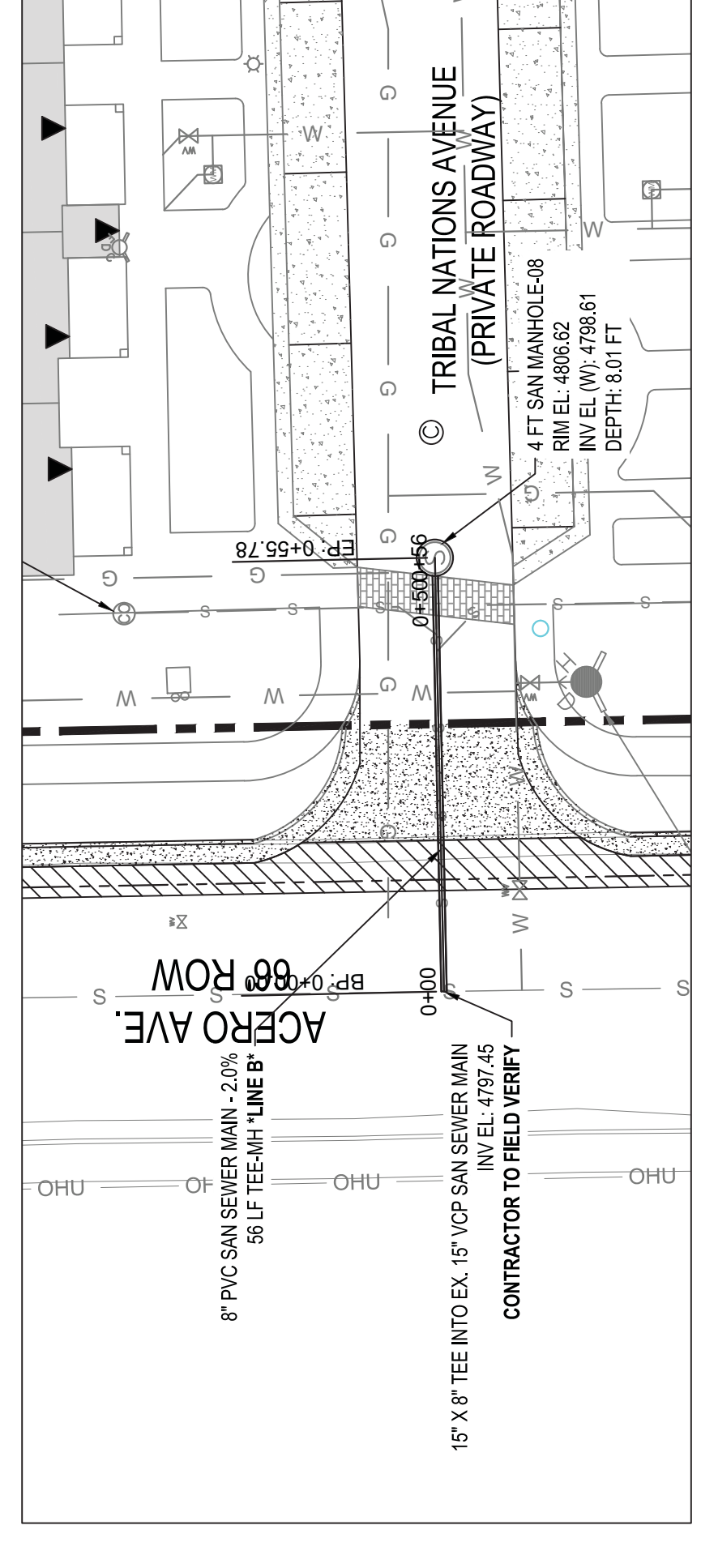


!!! DENOTES STORM CROSSING LOCATION.

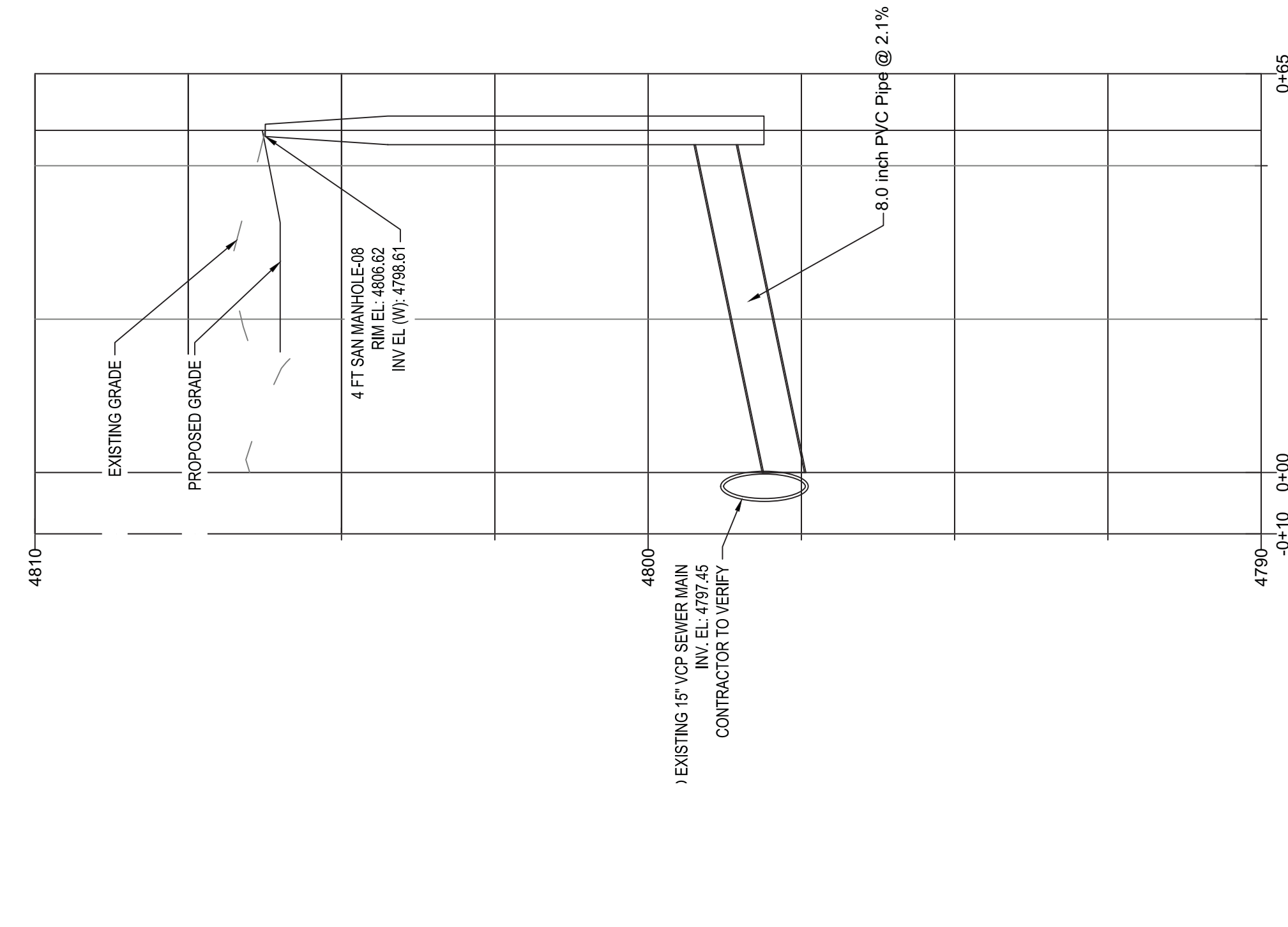
SANITARY "A" PROFILE



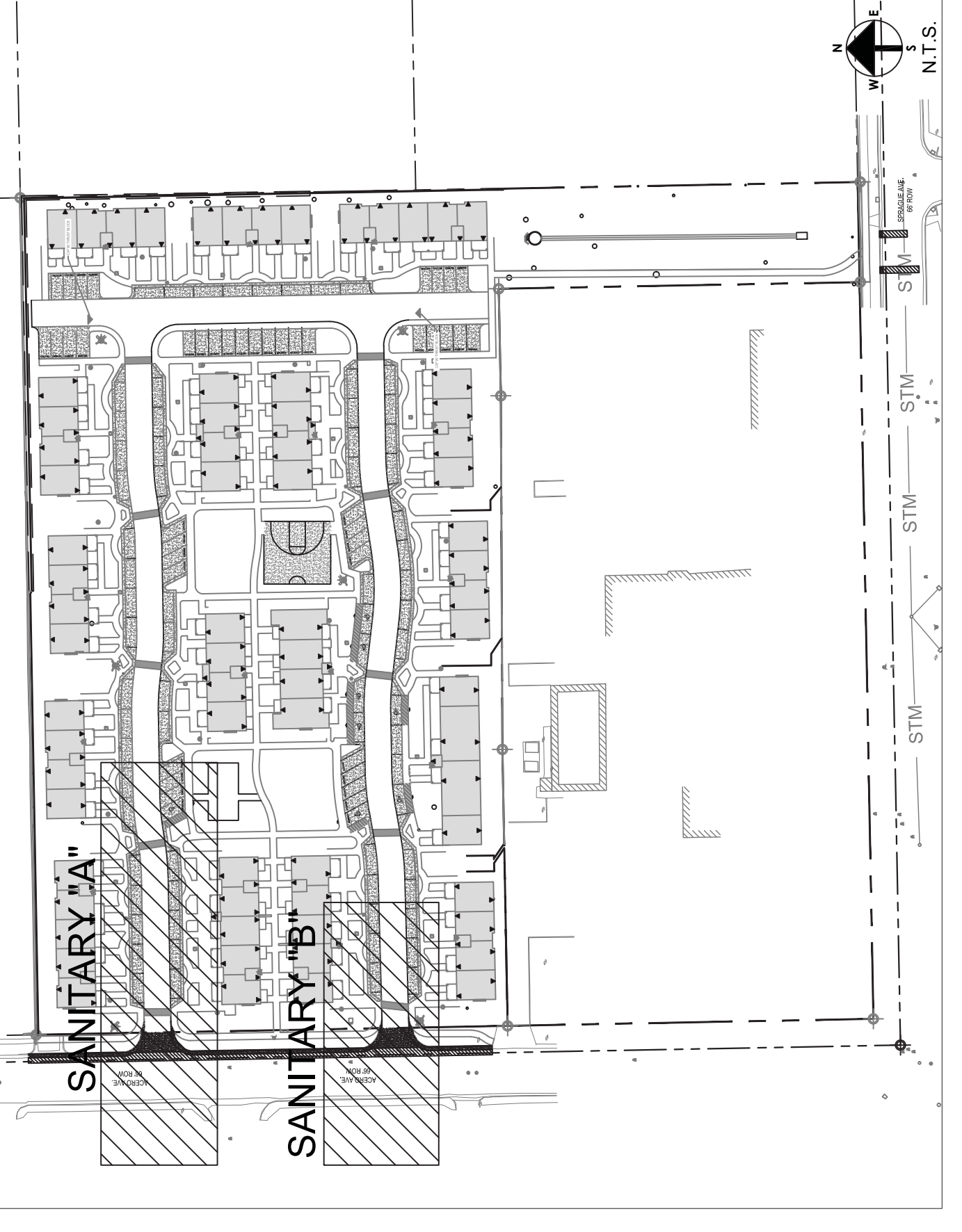
SANITARY "B" PLAN



SANITARY "B" PROFILE



VICINITY MAP



UTILITY NOTES: C4.0 - DEVELOPED DRAINAGE PLAN FOR STORM INFRASTRUCTURE BEING:

- REFER TO SHEET C4.1 - UTILITY DETAILS.
- REFER TO SHEET C4.1 - UTILITY DETAILS.
- ALL SANITARY UTILITY CONSTRUCTION SHALL CONFORM WITH STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CITY OF PUEBLO, COLORADO, LATEST REVISION, AND POLICIES FOR CITY OF PUEBLO, COLORADO, LATEST REVISION.
- ALL WATER UTILITY CONSTRUCTION SHALL CONFORM WITH INDEX TO UTILITY CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CUSTOMER FINANCED WATER MAIN EXTENSION, LATEST REVISION.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- TRANSFORMER LOCATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR ELECTRIC DESIGN AND CONSTRUCTION DETAILS.

**LEGEND**

- Property Line
- Existing Water Line
- Existing Sanitary Sewer Line
- Existing Storm Line
- Proposed Water Line
- Proposed Sanitary Sewer Line
- Proposed Storm Line
- Proposed Gas Line
- Proposed Fire Line
- Proposed Fire Alarm Line
- Proposed Gate Valve
- Proposed Trust Block
- Proposed Manhole
- Proposed Sanitary Manhole
- Proposed Transformer
- Location RE UTIL NOIE #5

**DRAWING SCALE & NORTH ARROW**

STREET LIGHTING NOTE:

- UTILITY STREET LIGHTING PROVIDED BY BLACK HILLS ENERGY SHALL BE DESIGNED FROM THE CODE REQUIREMENTS. ALL OTHER EXTERIOR LIGHTS (OWNER FURNISHED BUILDING AND SITE LIGHTING) WILL MEET REQUIREMENTS OUTLINED IN SECTION 17-4-52 OF THE P.M.C.

GAS UTILITY NOTES:

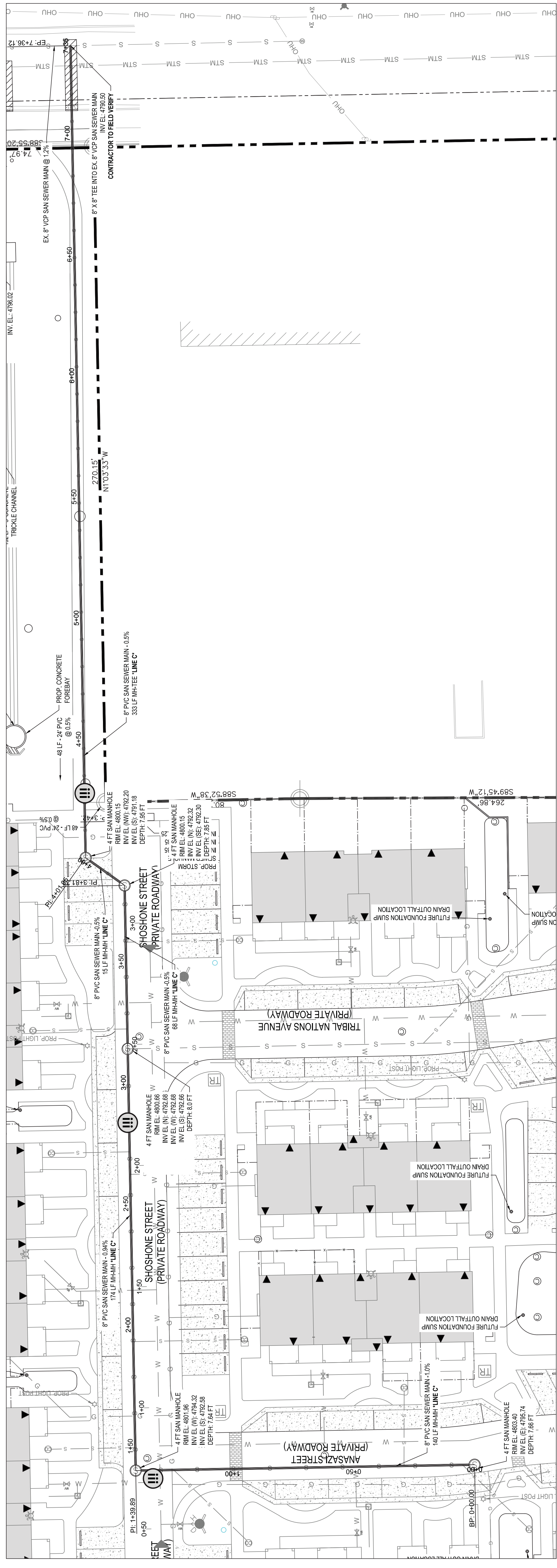
- REFER TO SHEET C3.0 - SITE PLAN FOR BUILDING TYPES.
- FINAL GAS SERVICE AND DISTRIBUTION TO BE COORDINATED WITH XCEL BY MEP. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR GAS DESIGN AND CONSTRUCTION DETAILS.

GENERAL NOTES:

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- UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
- SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
- SITE BENCHMARK: VERTICAL DATUM IS NAVD88 USING GEOID 28 TO DERIVE ELEVATIONS.

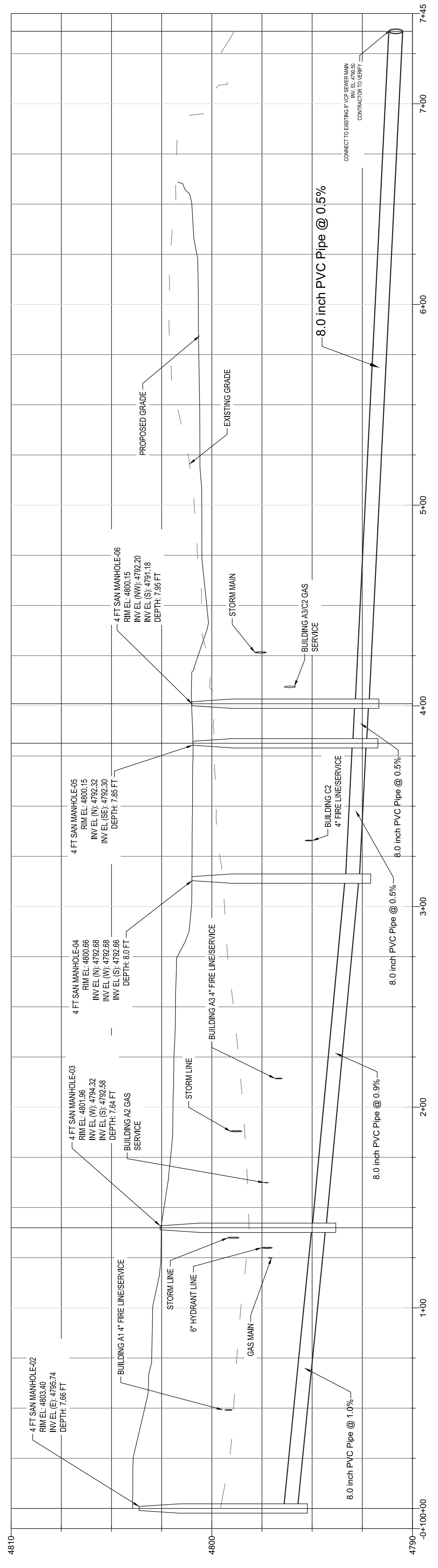


SANITARY "C" PLAN

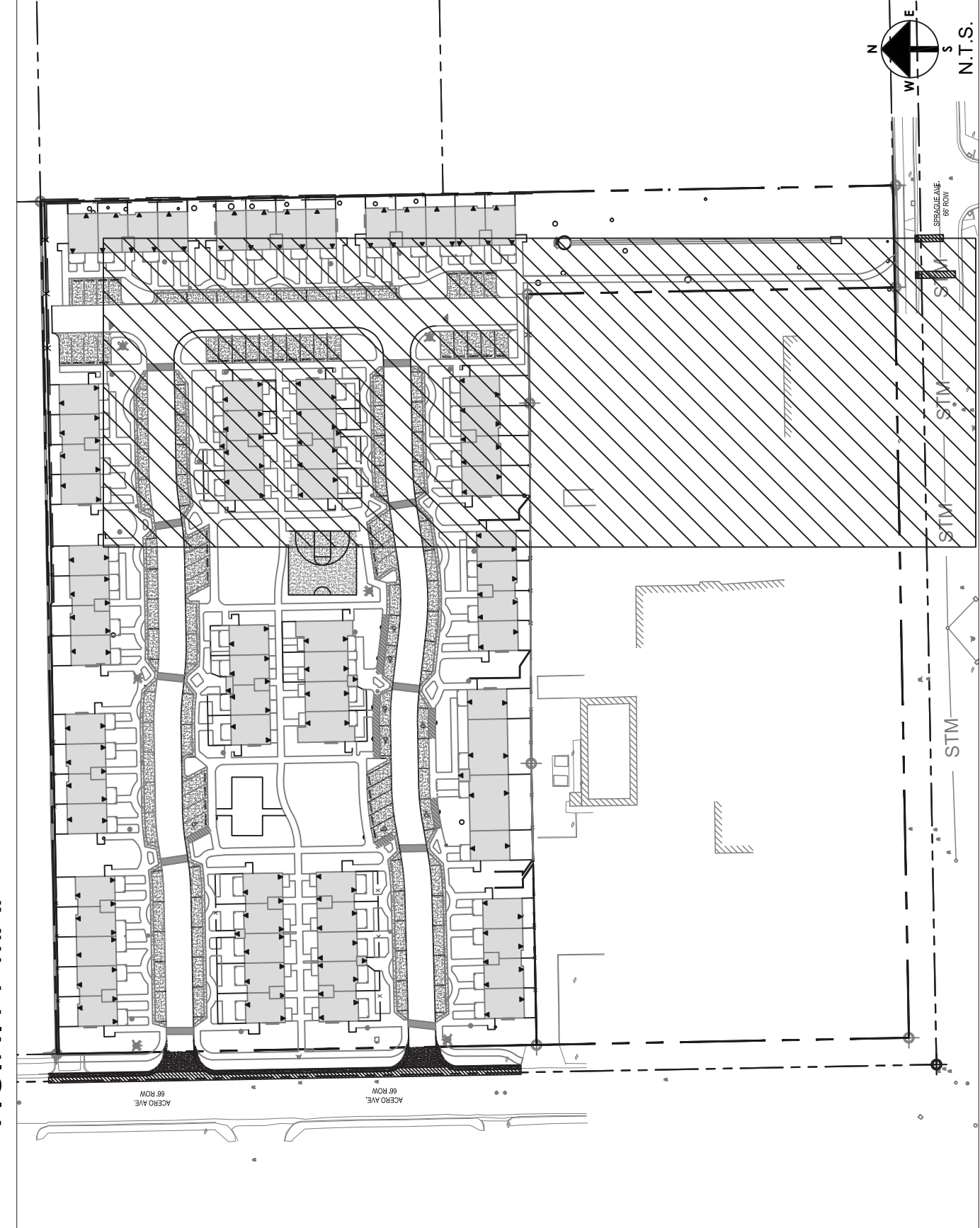


Ⓜ DENOTES STORM CROSSING LOCATION.

SANITARY "C" PROFILE



VICINITY MAP



UTILITY NOTES:

- REFER TO SHEET C4.0 - DEVELOPED DRAINAGE PLAN FOR STORM INFRASTRUCTURE DETAILS.
- REFER TO SHEET C4.1 - UTILITY DETAILS.
- ALL SANITARY UTILITY CONSTRUCTION SHALL CONFORM WITH STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CITY OF PUEBLO, COLORADO, LATEST REVISION, AND "SANITARY SEWER DESIGN SPECIFICATIONS AND POLICIES FOR CITY OF PUEBLO, COLORADO", LATEST REVISION.
- ALL WATER UTILITY CONSTRUCTION SHALL CONFORM WITH INDEX TO SPECIFICATIONS FOR WATER UTILITY CONSTRUCTION, LATEST REVISION, AND CUSTOMER FINANCED WATER MAIN EXTENSION, LATEST REVISION.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- TRANSFORMER LOCATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR ELECTRIC DESIGN AND CONSTRUCTION DETAILS.

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- SITE BENCHMARK: VERTICAL DATUM IS NAVD83. USING GEOID 28 TO DERIVE ELEVATIONS.

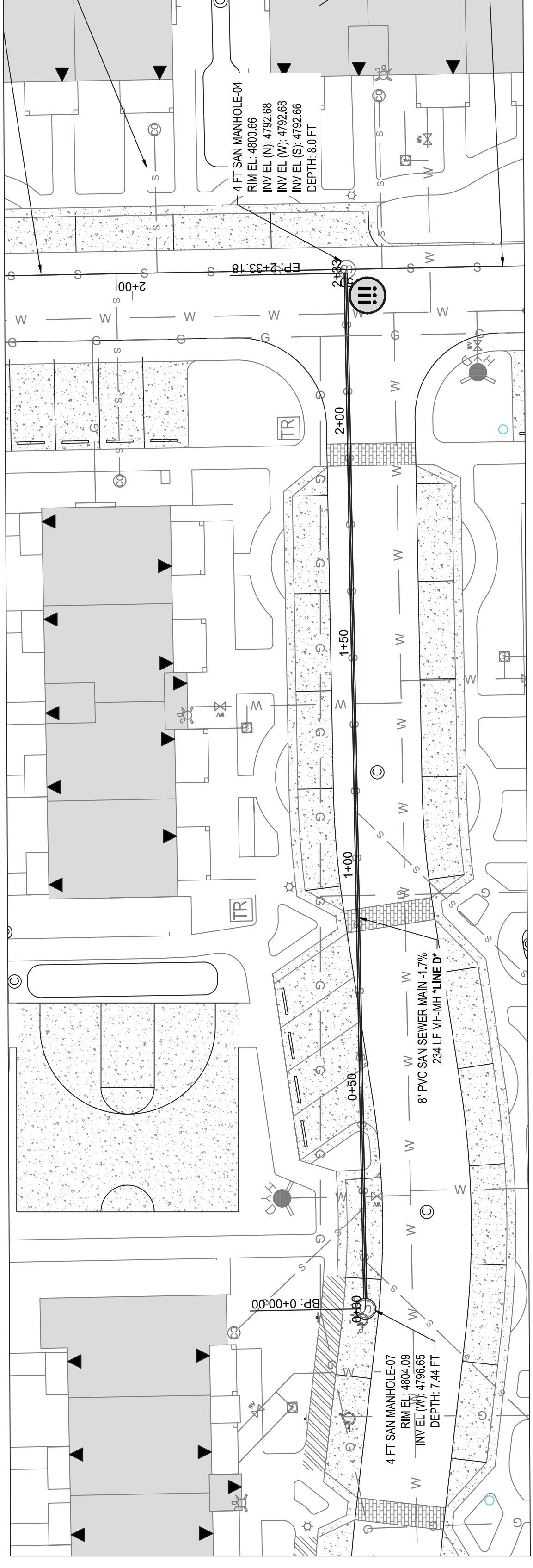
**LEGEND**

- Property Line
- Existing Water Line
- Existing Sanitary Sewer Line
- Existing Storm Water Line
- Proposed Water Line
- Proposed Sanitary Sewer Line
- Proposed Storm Water Line
- Proposed Gas Line
- Proposed Fire Line
- Proposed Storm Water
- Proposed Gate Valve
- Proposed Trunk Valve
- Proposed Hydrant
- Proposed Sanitary Manhole
- Proposed Sanitary Manhole
- Proposed Transformer
- Location RE UTIL. NO. #5

**DRAWING SCALE & NORTH ARROW**

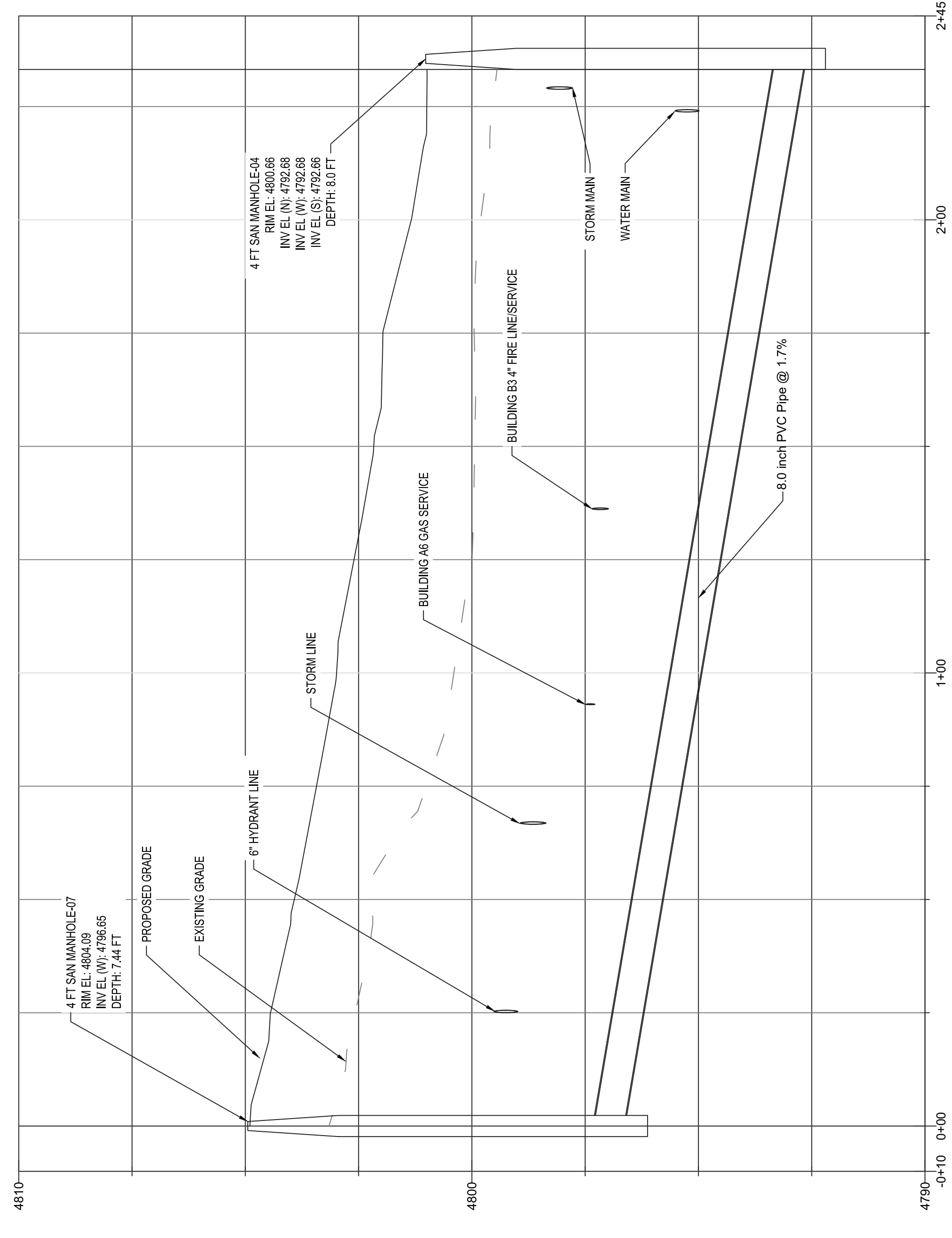


SANITARY "D" PLAN

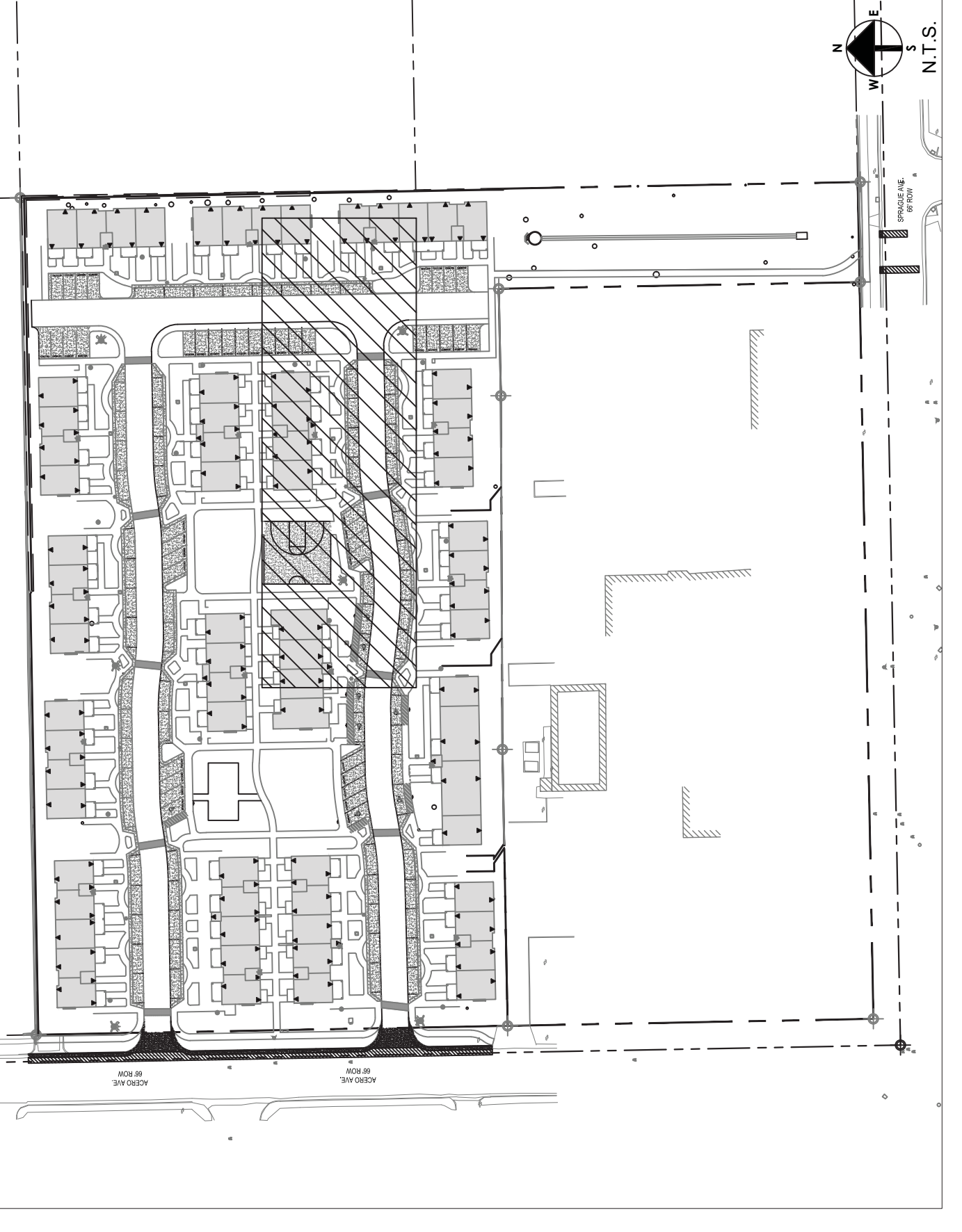


DENOTES STORM CROSSING LOCATION.

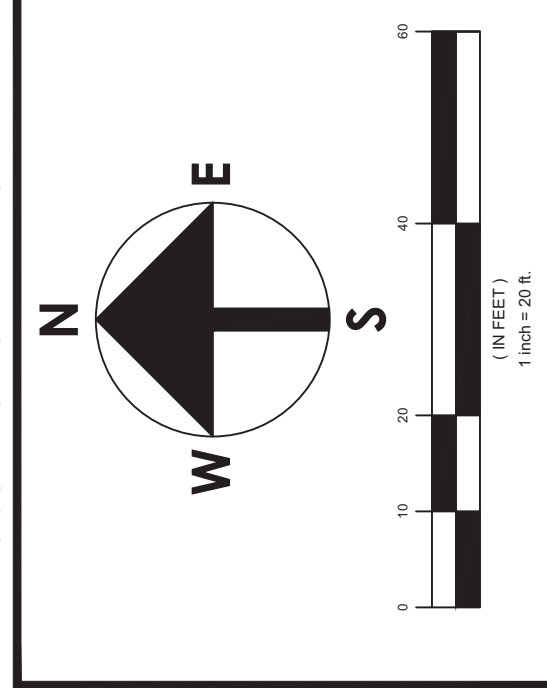
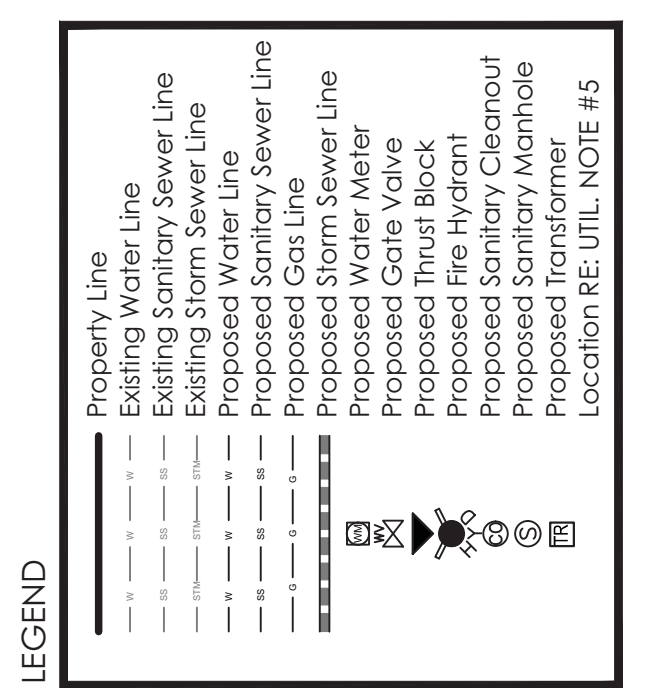
SANITARY "D" PROFILE



VICINITY MAP

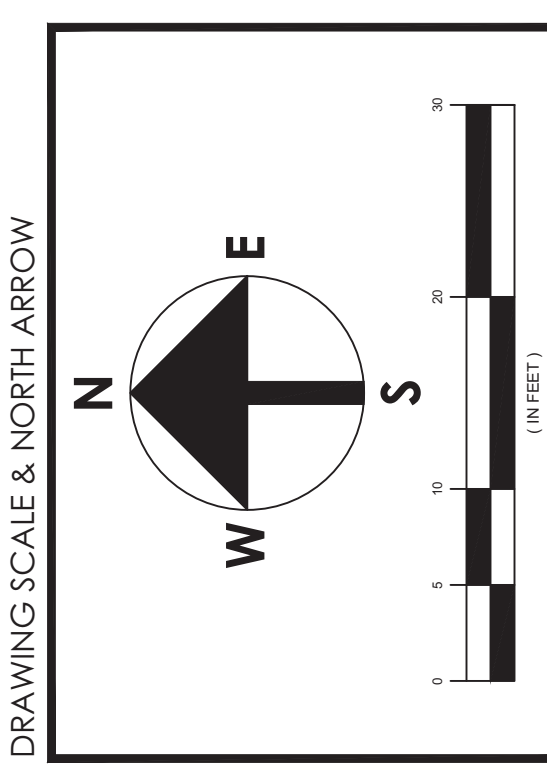
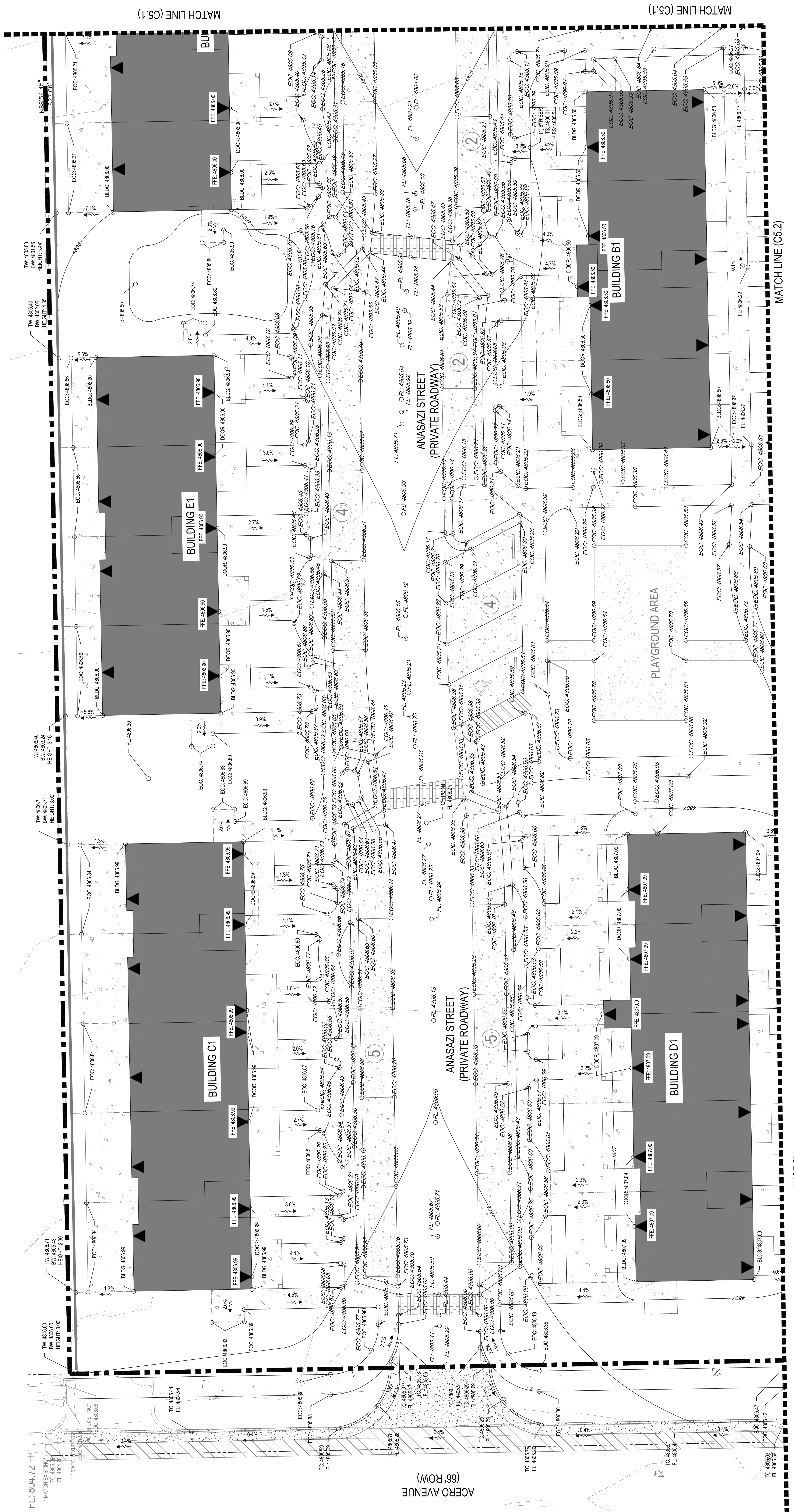
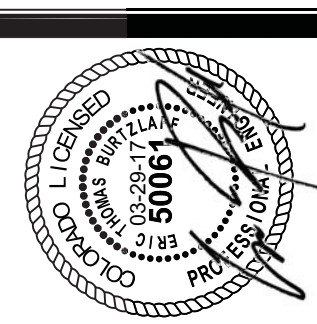


- UTILITY NOTES:** C4.0 - DEVELOPED DRAINAGE PLAN FOR STORM INFRASTRUCTURE BEING.
- REFER TO SHEET C4.1 - UTILITY DETAILS.
  - ALL SANITARY UTILITY CONSTRUCTION SHALL CONFORM WITH "STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CITY OF PUEBLO, COLORADO" LATEST REVISION & "SANITARY SEWER DESIGN SPECIFICATIONS AND POLICIES FOR CITY OF PUEBLO, COLORADO" LATEST REVISION.
  - ALL WATER UTILITY CONSTRUCTION SHALL CONFORM WITH "INDEX TO UTILITY CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CUSTOMER FINANCED WATER MAIN EXTENSION" LATEST REVISION.
  - CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  - TRANSFORMER LOCATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR ELECTRIC DESIGN AND CONSTRUCTION DETAILS.
- STREET LIGHTING NOTE:**
- UTILITY STREET LIGHTING PROVIDED BY BLACK HILLS ENERGY SHALL BE DESIGNED FROM THE CODE REQUIREMENTS. ALL OTHER EXTERIOR LIGHTS (OWNER FURNISHED BUILDING AND SITE LIGHTING) WILL MEET REQUIREMENTS OUTLINED IN SECTION 17-4-52 OF THE PMC.
- GAS UTILITY NOTES:**
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  - FINAL GAS SERVICE AND DISTRIBUTION TO BE COORDINATED WITH XCEL BY MEP. CONTRACTOR SHALL REFER TO APPROVED MEP PLANS FOR GAS DESIGN AND CONSTRUCTION DETAILS.



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  - UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
  - SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
  - SITE BENCHMARK: VERTICAL DATUM IS NAVD88 USING GEOID 28 TO DERIVE ELEVATIONS.





**LEGEND**

- Property Line
- Proposed P.U.E.
- Proposed Fence
- Parking Space Count
- 6" - 4000psi - Fibre Refr. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 3000psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Works per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Public Curb & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- Pavedrain Poured Pavement (See Table 3, Sheet C3.0 for Quantities)
- Rubber Ed (Inlets) for Playground (See Table 3, Sheet C3.0 for Quantities)

**Abbreviation Legend**

- EG: Existing Grade
- FG: Existing Footing
- TC: Top of Curb
- BC: Bottom of Curb
- SS: Surface of Step
- GS: Ground Spot
- BW: Bottom of Wall
- DS: Downspout
- FFE: Finished Floor Elevation
- DF: Door
- HP: High Point

- BM NOTE:**  
 1. PROJECT SHALL FOLLOW THE CITY OF PUEBLO STORM WATER AND EROSION CONTROL BEST MANAGEMENT PRACTICES.
- GRADING NOTES:**  
 1. CONTRACTOR SHALL MAINTAIN 2% CROSS-SLOPE ON ALL PROPOSED SIDEWALKS.  
 2. CONTRACTOR SHALL ENSURE ALL ACCESSIBLE ROUTES AND RAMPS ARE ADA COMPLIANT.  
 3. CONTRACTOR SHALL FIELD VERIFY ELEVATION OF ALL TIE-IN POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- GENERAL NOTES:**  
 1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC., IN APRIL 2016.  
 2. UTILITIES SHOWN HEREON ARE BASED ON GEOPHYSICAL SURFACE UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
 3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
 4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID12B TO DERIVE ELEVATIONS.

DRAWING SCALE & NORTH ARROW

MATCH LINE (C5.2)

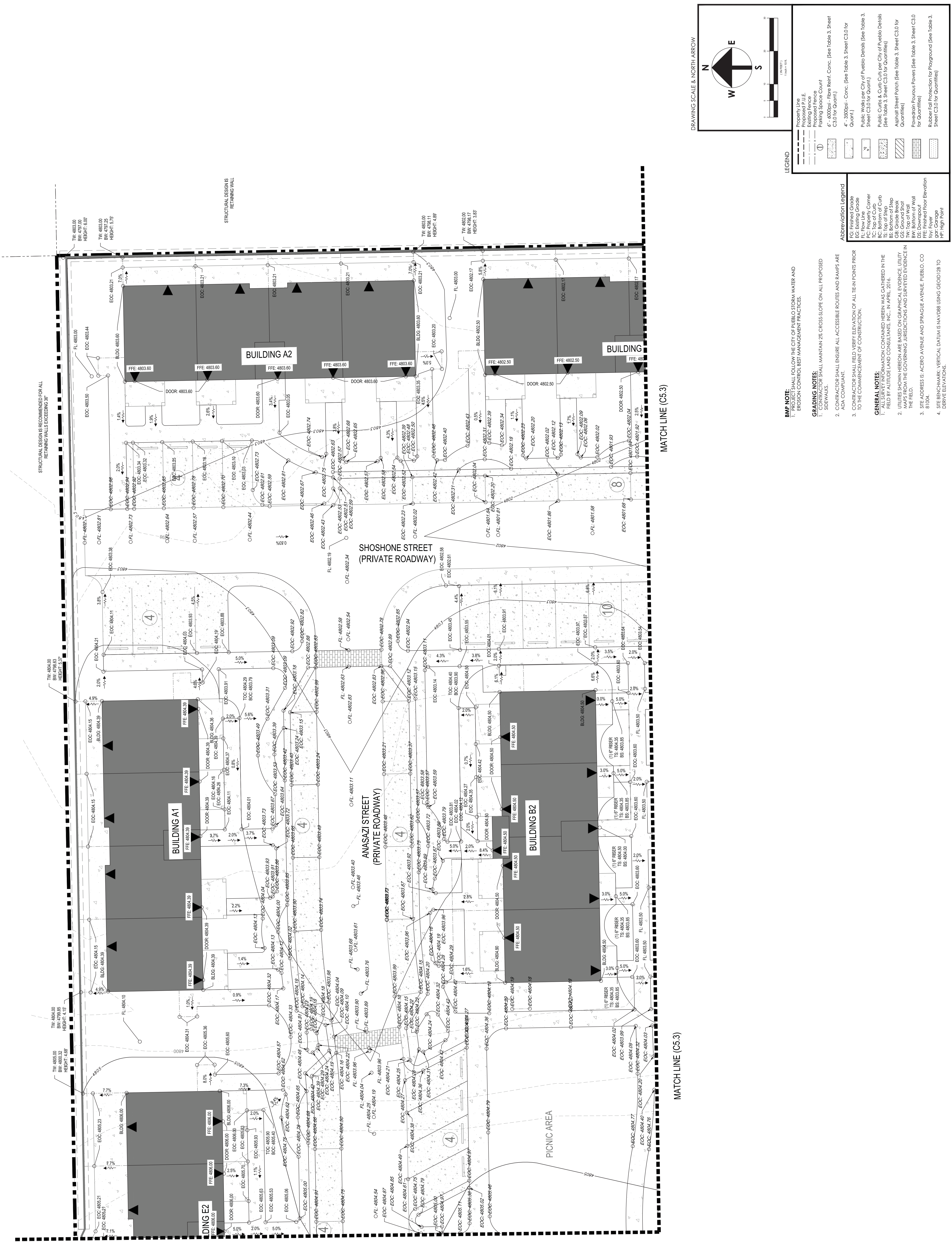
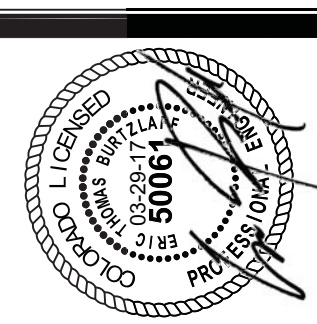
MATCH LINE (C5.1)

MATCH LINE (C5.1)

FL: 004.7 Z

ACERO AVENUE (66' ROW)





DRAWING SCALE & NORTH ARROW

**LEGEND**

- Property Line
- Proposed P.U.E.
- Proposed Fence
- Parking Space Count
- 6" - 4000psi - Fibre Refr. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 3000psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Works per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Public Curb & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- Pavedrain Porous Pavers (See Table 3, Sheet C3.0 for Quantities)
- Rubber Mulch (See Table 3, Sheet C3.0 for Quantities)
- Play Surface
- HP - High Point

**Abbreviation Legend**

- EG - Existing Grade
- FG - Finished Ground
- FL - Flow Line
- TC - Top of Curb
- BC - Bottom of Curb
- BS - Bottom of Step
- GS - Ground Spot
- BW - Bottom of Wall
- DS - Downspout
- FFE - Finished Floor Elevation
- DF - Door
- HP - High Point

**BM NOTE:**  
 1. PROJECT SHALL FOLLOW THE CITY OF PUEBLO STORM WATER AND EROSION CONTROL BEST MANAGEMENT PRACTICES.

**GRADING NOTES:**  
 1. CONTRACTOR SHALL MAINTAIN 2% CROSS-SLOPE ON ALL PROPOSED SIDEWALKS.  
 2. CONTRACTOR SHALL ENSURE ALL ACCESSIBLE ROUTES AND RAMPS ARE ADA COMPLIANT.  
 3. CONTRACTOR SHALL FIELD VERIFY ELEVATION OF ALL TIE-IN POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**GENERAL NOTES:**  
 1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC., IN APRIL 2016.  
 2. UTILITIES SHOWN HEREON ARE BASED ON GEOPHYSICAL SURFACE UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
 3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
 4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID12B TO DERIVE ELEVATIONS.

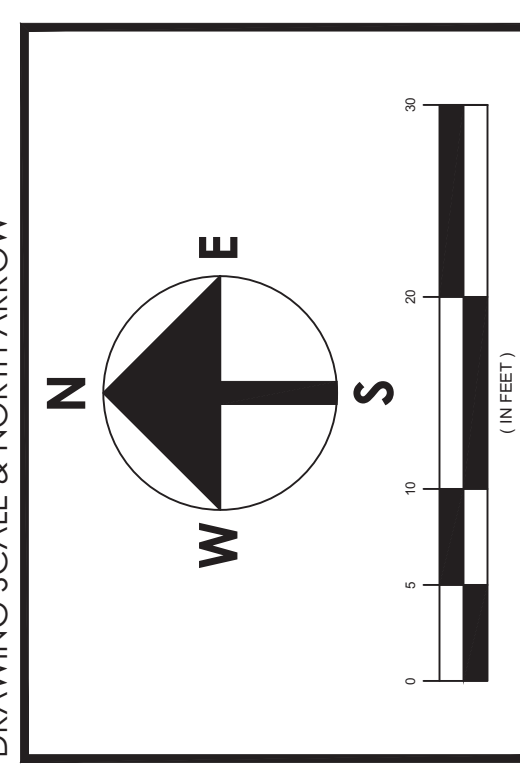
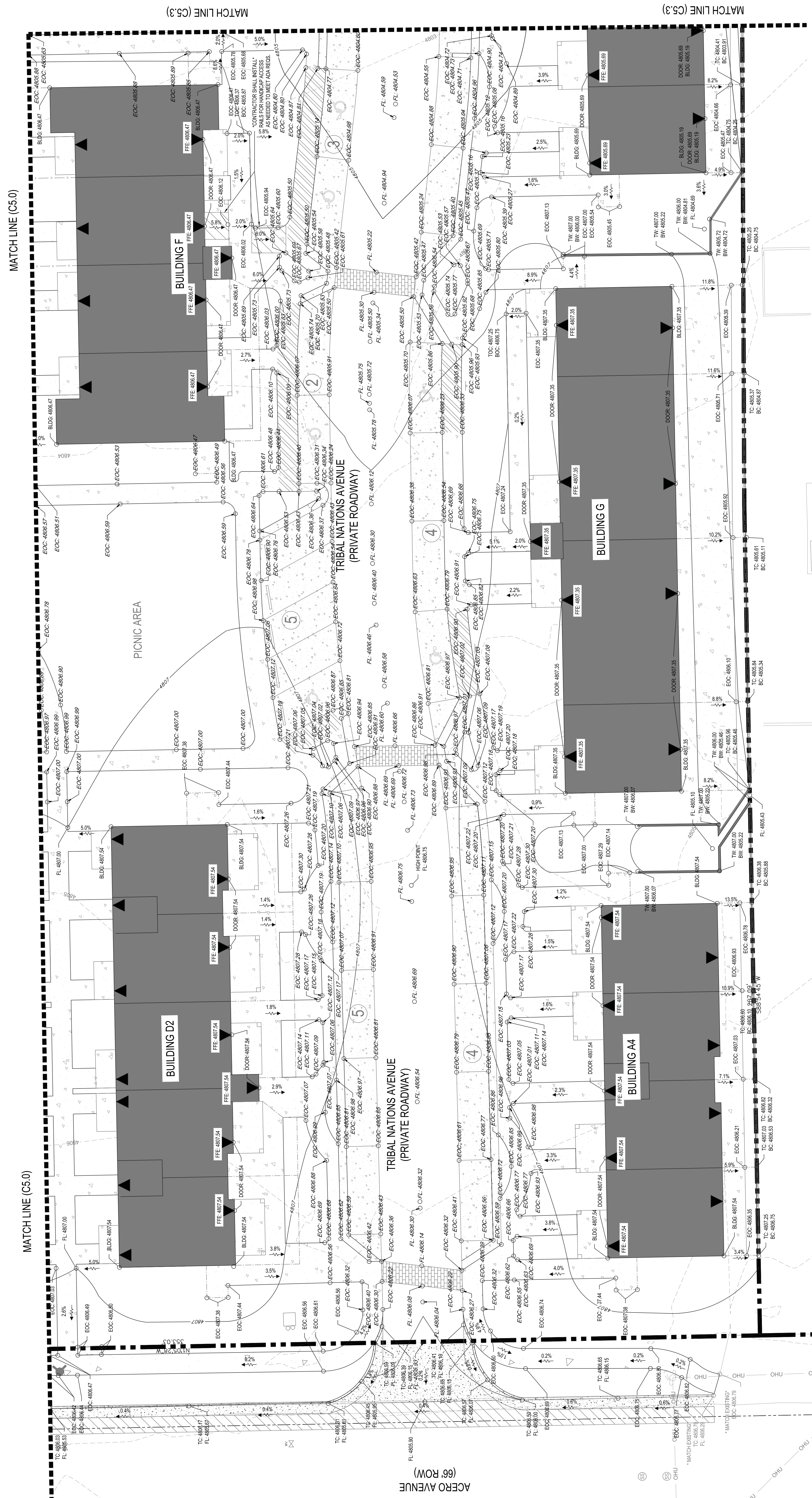
MATCH LINE (C5.0)

MATCH LINE (C5.0)

MATCH LINE (C5.3)

MATCH LINE (C5.3)





**LEGEND**

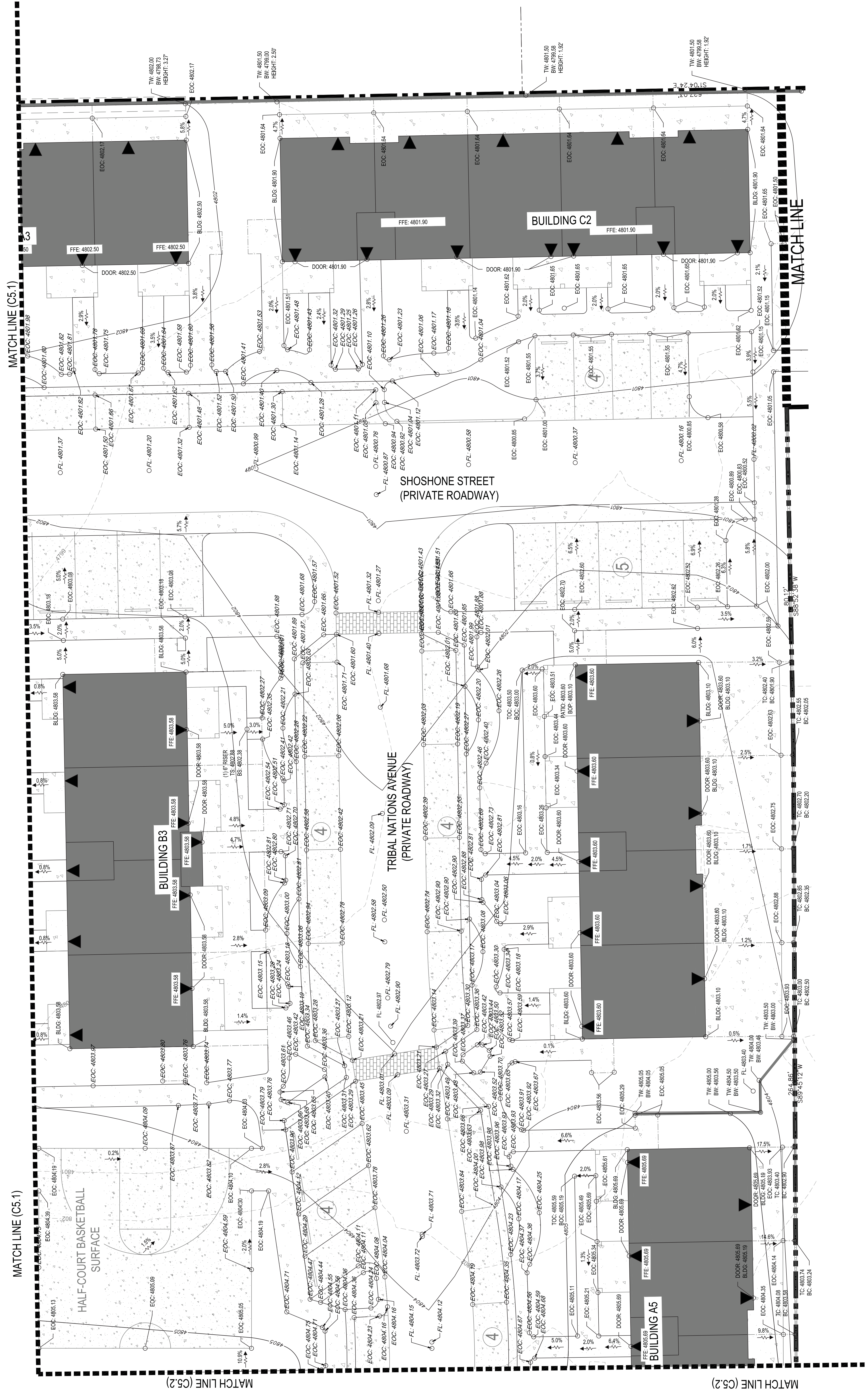
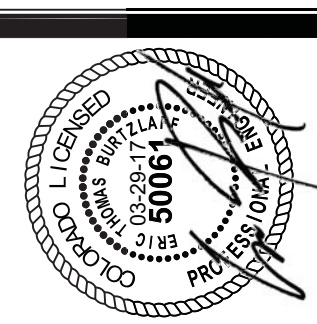
- Property Line
- Proposed P.U.E.
- Proposed Fence
- Parking Space Count
- 6" - 4000psi - Fibre Refr. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 3000psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Works per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Public Curb & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- Pavedrain Poured Pavement (See Table 3, Sheet C3.0 for Quantities)
- Rubber Ed (Inlets) for Playground (See Table 3, Sheet C3.0 for Quantities)

**Abbreviation Legend**

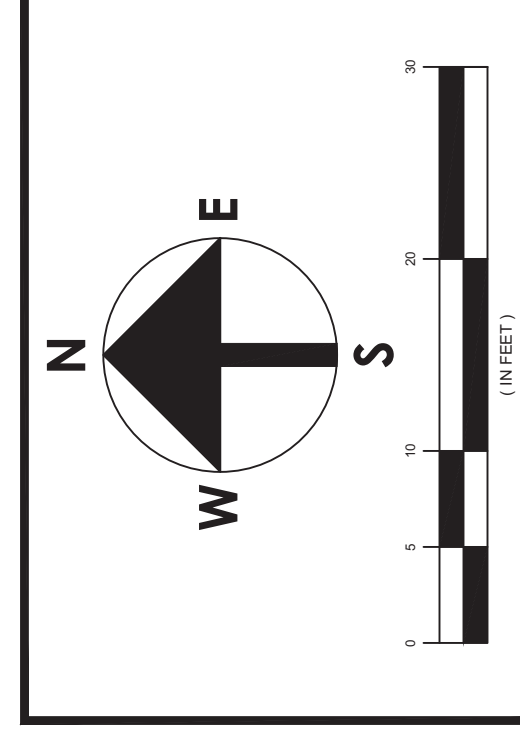
- EG: Finished Grade
- EOC: Existing Grade
- FL: Floor Line
- TC: Top of Curb
- BC: Bottom of Curb
- SS: Bottom of Step
- GS: Ground Spot
- BM: Benchmark
- D.S.: Downspout
- FF: Finished Floor Elevation
- DOY: Day
- HP: High Point

- BM NOTE:**
- PROJECT SHALL FOLLOW THE CITY OF PUEBLO STORM WATER AND EROSION CONTROL BEST MANAGEMENT PRACTICES.
- GRADING NOTES:**
- CONTRACTOR SHALL MAINTAIN 2% CROSS-SLOPE ON ALL PROPOSED SIDEWALKS.
  - CONTRACTOR SHALL ENSURE ALL ACCESSIBLE ROUTES AND RAMPS ARE ADA COMPLIANT.
  - CONTRACTOR SHALL FIELD VERIFY ELEVATION OF ALL TIE-IN POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- GENERAL NOTES:**
- ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC., IN APRIL 2016.
  - UTILITIES SHOWN HEREON ARE BASED ON C&G SURVEY AND SURVEY EVIDENCE IN THE FIELD.
  - MAP'S FROM THE GOVERNING JURISDICTIONS AND SURVEY EVIDENCE IN THE FIELD.
  - SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
  - SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID128 TO DETERMINE ELEVATIONS.





DRAWING SCALE & NORTH ARROW



**LEGEND**

- Property Line
- Proposed P.U.E.
- Proposed Fence
- Proposed Space Count
- 6" - 400psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 300psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Works per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Public Curb & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quant.)
- Pavedrain Porous Pavement (See Table 3, Sheet C3.0 for Quant.)
- Rubber Felt (See Table 3, Sheet C3.0 for Quant.)
- Sheet C3.0 for Quantities

**Abbreviation Legend**

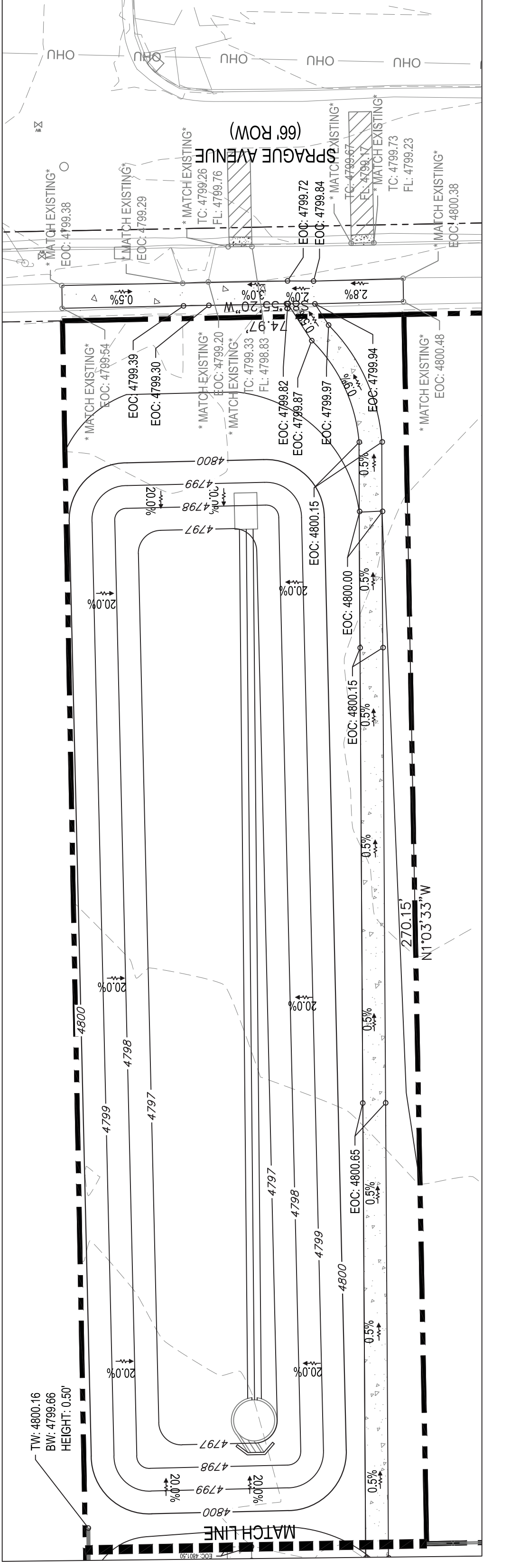
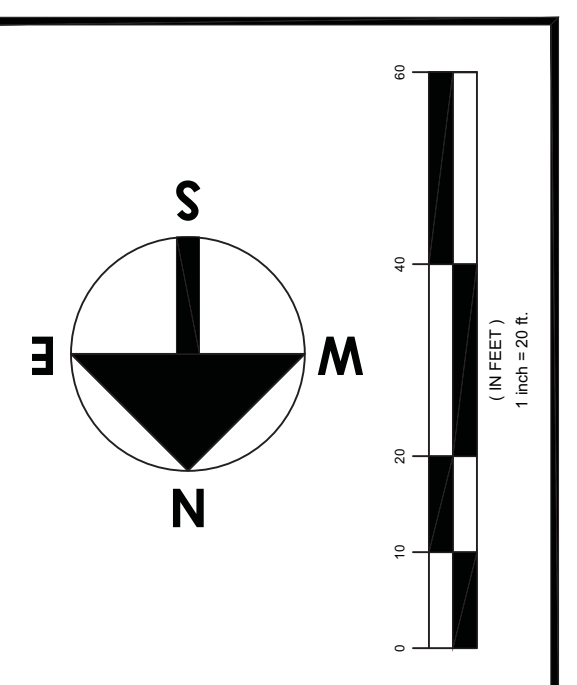
- EG: Finished Grade
- EEC: Existing Ground
- FFC: Finished Floor
- TC: Top of Curb
- BC: Bottom of Curb
- SS: Bottom of Step
- GS: Ground Slope
- BW: Bottom of Wall
- DS: Downspout
- FFE: Finished Floor Elevation
- DOY: Door
- HP: High Point

**BM NOTE:**  
 1. PROPOSED GRADES SHALL FOLLOW THE CITY OF PUEBLO STORM WATER AND EROSION CONTROL BEST MANAGEMENT PRACTICES.

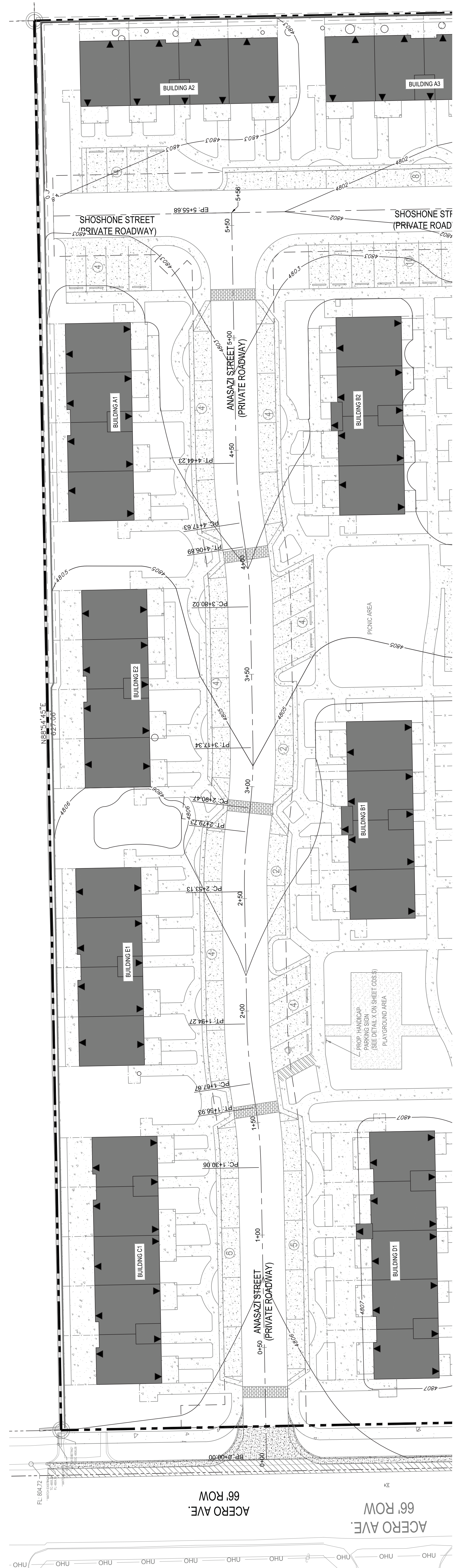
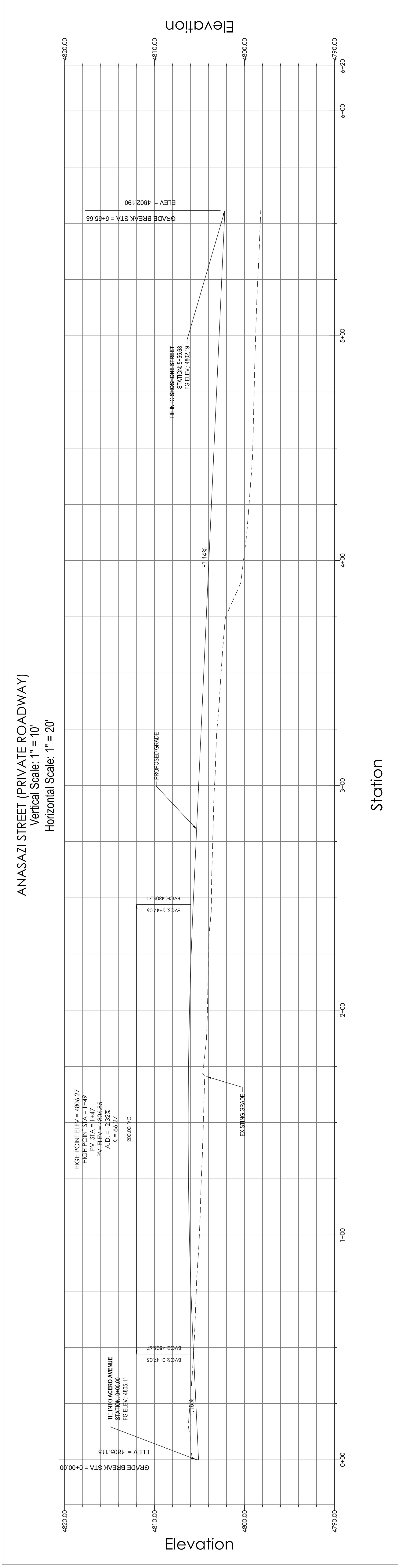
**GRADING NOTES:**  
 1. CONTRACTOR SHALL MAINTAIN 2% CROSS-SLOPE ON ALL PROPOSED SIDEWALKS.  
 2. CONTRACTOR SHALL ENSURE ALL ACCESSIBLE ROUTES AND RAMPS ARE ADA COMPLIANT.  
 3. CONTRACTOR SHALL FIELD VERIFY ELEVATION OF ALL TIE-IN POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**GENERAL NOTES:**  
 1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC. IN APRIL 2016.  
 2. UTILITIES SHOWN HEREON ARE BASED ON GEOPHYSICAL SURFACE UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.  
 3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.  
 4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID12B TO DETERMINE ELEVATIONS.

DRAWING SCALE & NORTH ARROW







**LEGEND**

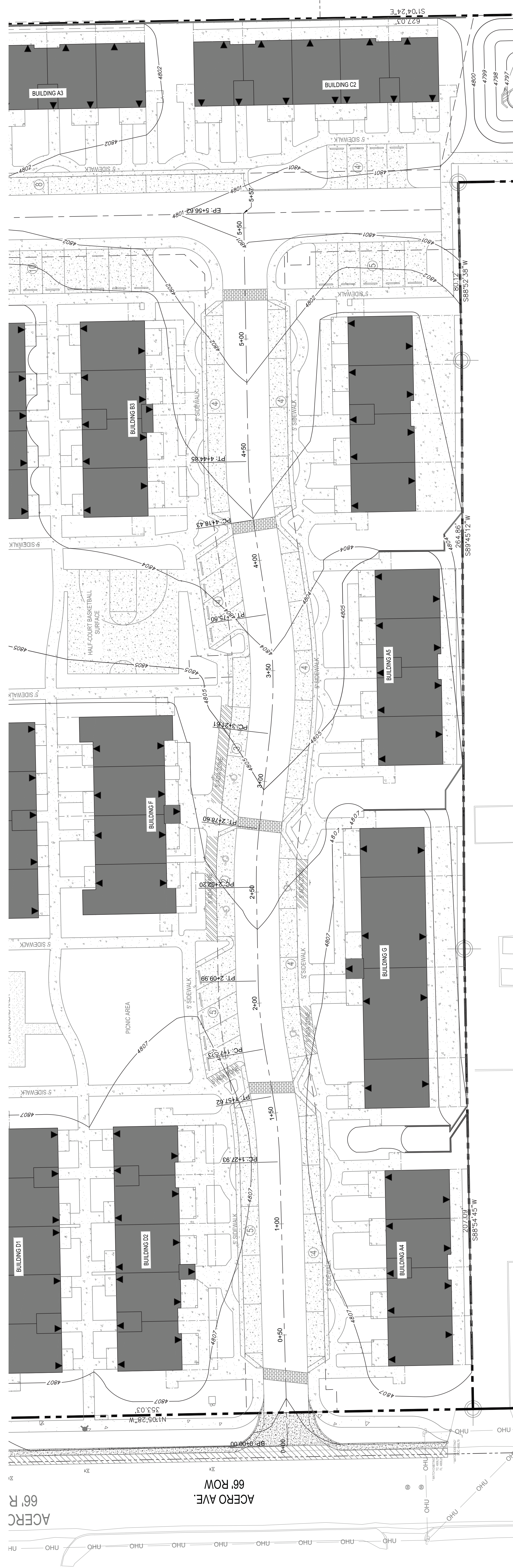
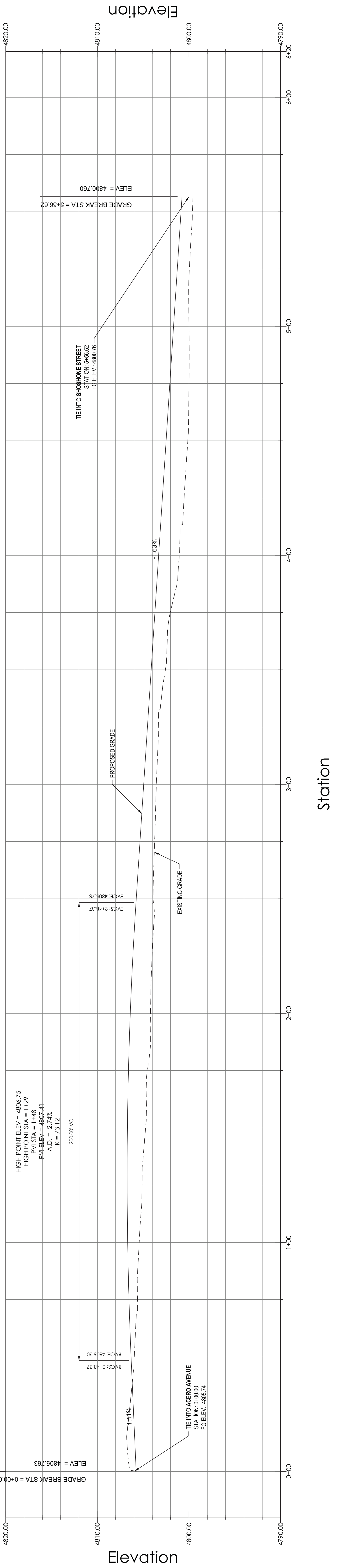
- Property Line
- Proposed P.U.E.
- Proposed P.U.L.
- Parking Space Count

**DRAWING SCALE & NORTH ARROW**

- GENERAL NOTES:**
1. THIS INFORMATION CONTAINED HEREIN WAS OBTAINED IN THE FIELD BY ALTIUDE AND CONSULTANTS, INC., IN APRIL, 2016.
  2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY RECORDS, AND SURVEY DATA. VERIFY THE LOCATION AND DEPTH OF UTILITIES WITH THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
  3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
  4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID 128 TO DERIVE ELEVATIONS.



TRIBAL NATIONS AVENUE (PRIVATE ROADWAY)  
 Vertical Scale: 1" = 10'  
 Horizontal Scale: 1" = 20'



LEGEND

- Property Line
- Proposed P.U.E.
- Street
- Parking Space Count

DRAWING SCALE & NORTH ARROW

- GENERAL NOTES:
1. ALL INFORMATION CONTAINED HEREIN WAS OBTAINED IN THE FIELD BY ALTIUDE AND CONSULTANTS, INC. IN APRIL 2016.
  2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY RECORDS, AND FIELD SURVEY. CONSULT WITH THE JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
  3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
  4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID 128 TO DERIVE ELEVATIONS.

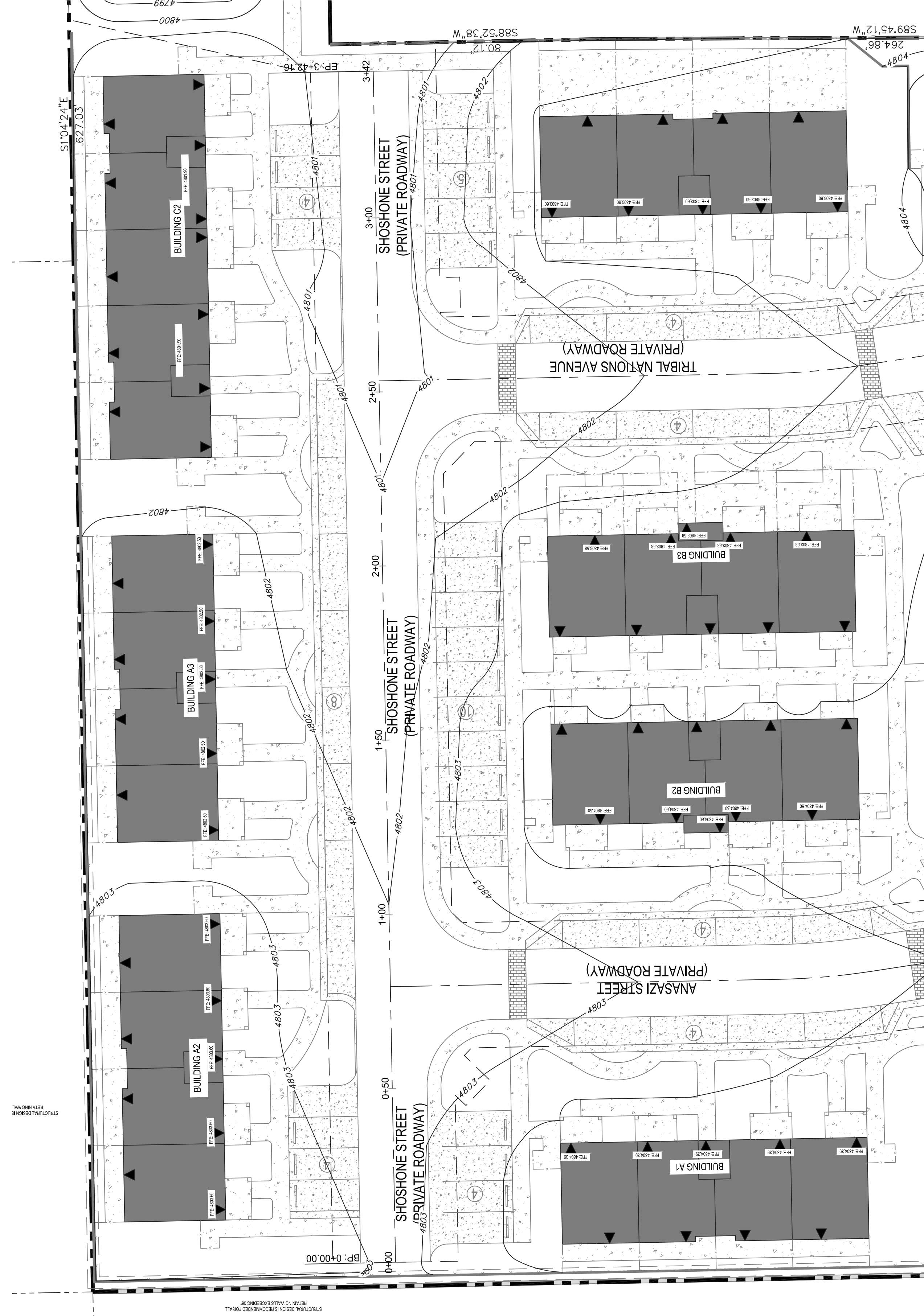
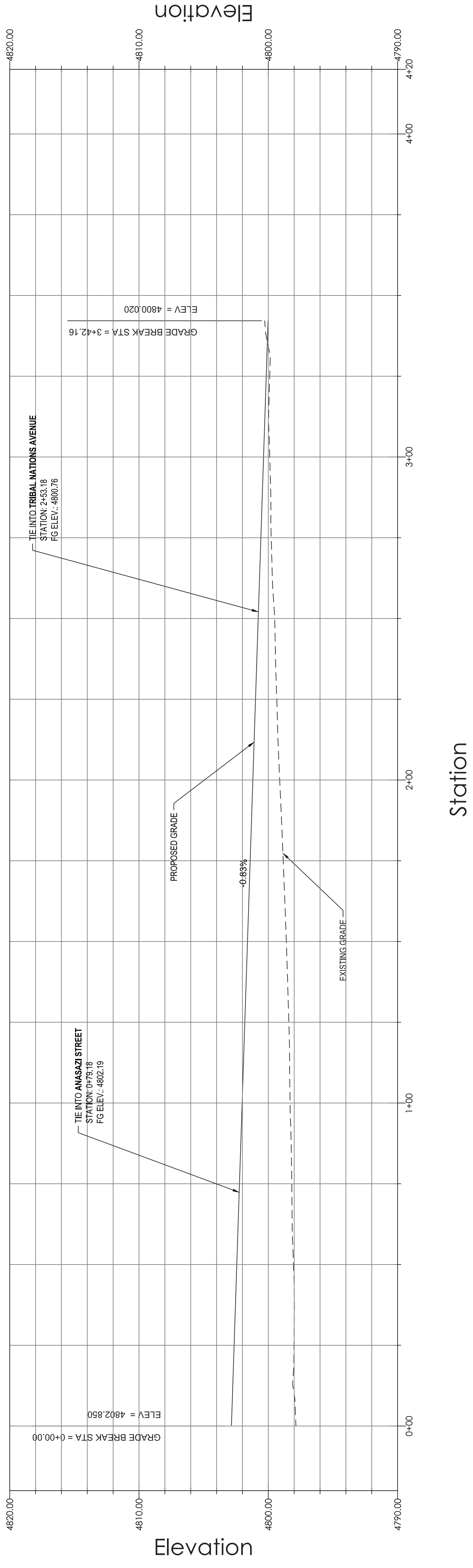


LEGEND

- Property Line
- Proposed P.U.E.
- Proposed P.U.L.
- Parking Space Count

DRAWING SCALE & NORTH ARROW

SHOSHONE STREET (PRIVATE ROADWAY)  
 Vertical Scale: 1" = 10'  
 Horizontal Scale: 1" = 20'



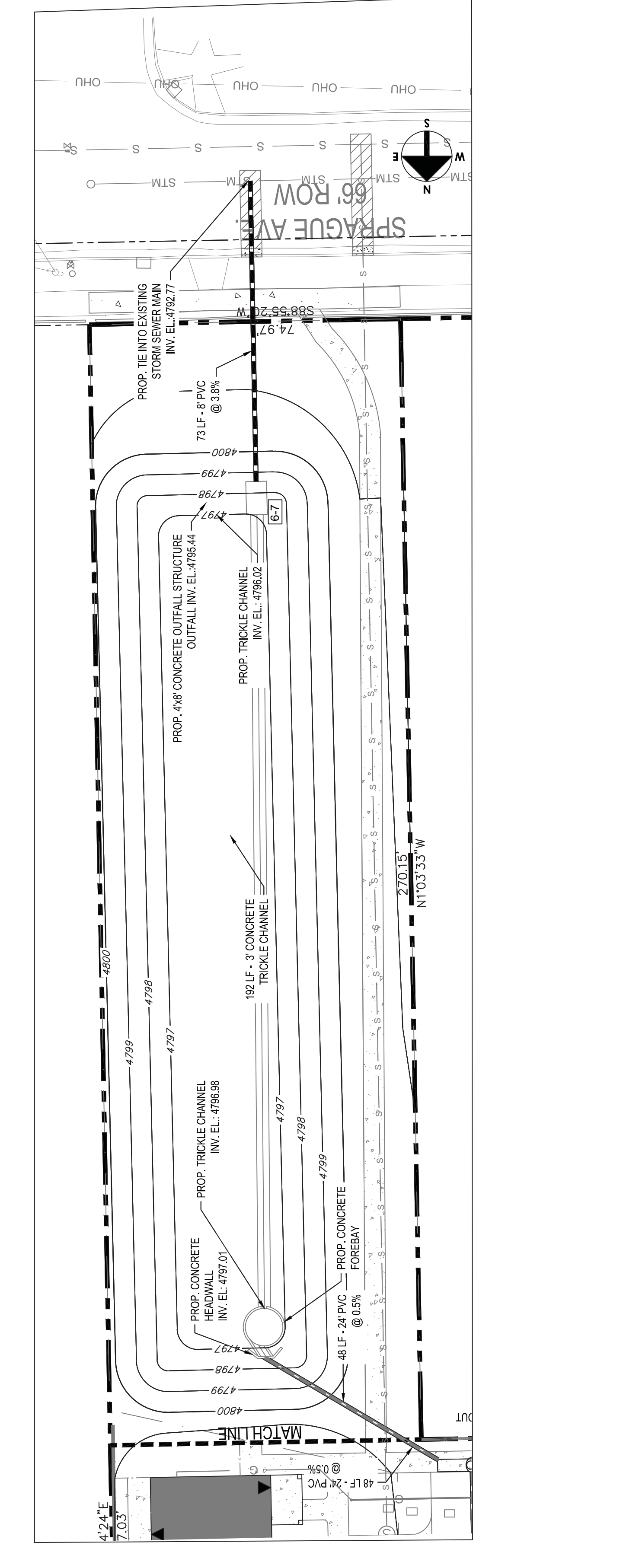
- GENERAL NOTES:
1. ALL INFORMATION CONTAINED HEREIN WAS OBTAINED IN THE FIELD BY ALTIUDE AND CONSULTANTS, INC. IN APRIL, 2016.
  2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY RECORDS, AND VISUAL SURVEY. VERIFY UTILITIES AND SURVEYED EVIDENCE IN THE FIELD.
  3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
  4. SITE BENCHMARK: VERTICAL DATUM IS NAVD83 USING GEOID 128 TO DERIVE ELEVATIONS.





TABLE 6  
DETAIL KEY (SEE SHEET C6.1 FOR DETAILS)

- 6-1 STORM MANHOLES
- 6-2 STORM SEWER TRENCH DETAIL
- 6-3 MANHOLE & INLET RING & COVER DETAILS
- 6-4 PAVE DRAIN CROSS-SECTION DETAIL
- 6-5 PERMEABLE - ARTICULATING CONCRETE BLOCK/CAMAT
- 6-6 PARTIAL INFILTRATION SECTIONS
- 6-7 OUTLET CONTROL STRUCTURE DETAIL
- 6-8 SIDEWALK DRAIN BETWEEN BUILDINGS DETAIL
- 6-9 FENCE ON 6" CURB WITH GAP DETAIL
- 6-10 DRAINAGE FLUME DETAIL
- 6-11 CHIMNEY BLOCK WALL & RAIN GARDEN DETAIL
- 6-12 TYPICAL RAIN GUTTER DETAIL



**DOWNSPOUTS NOTES:**

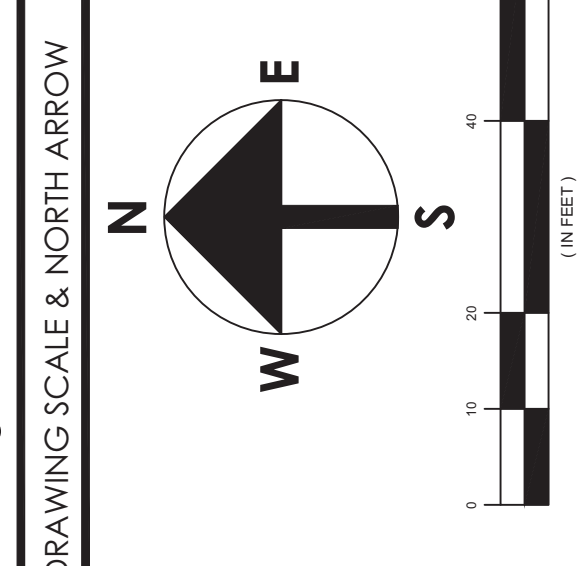
1. CONTRACTOR SHALL REFER TO BUILDING ELEVATIONS TO DETERMINE LOCATIONS OF DOWNSPOUTS.
2. DOWNSPOUTS LOCATED ON SIDES OF BUILDING SHALL BE BUILT ACCORDING TO DETAIL 4-12 ON SHEET C6.1.
3. CONTRACTOR SHALL CONNECT ALL DOWNSPOUTS ON REAR AND FRONT OF BUILDINGS TO PROPOSED DRAINAGE SYSTEM UNDERGROUND. QUANTITIES OF PVC PIPING NEEDED TO CONNECT DOWNSPOUTS TO DRAINAGE SYSTEM SHALL BE DETERMINED BY CONTRACTOR.

**UTILITY NOTES:**

1. REFER TO SHEET C4.2 - UTILITY DETAILS FOR SANITARY SEWER AND WATER DETAILS.
2. ALL STORM SEWER UTILITY CONSTRUCTION SHALL CONFORM WITH STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CITY OF PUEBLO, COLORADO. LATEST REVISION & STORM DRAINAGE DESIGN CRITERIA AND DRAINAGE POLICIES - LATEST REVISION.
3. DRAINAGE AND STORM CALCULATIONS PREPARED BY ALTITUDE LAND CONSULTANTS. CALCULATIONS TO BE INCLUDED IN DRAINAGE REPORT AT TIME OF FINAL SUBMITTAL.
4. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

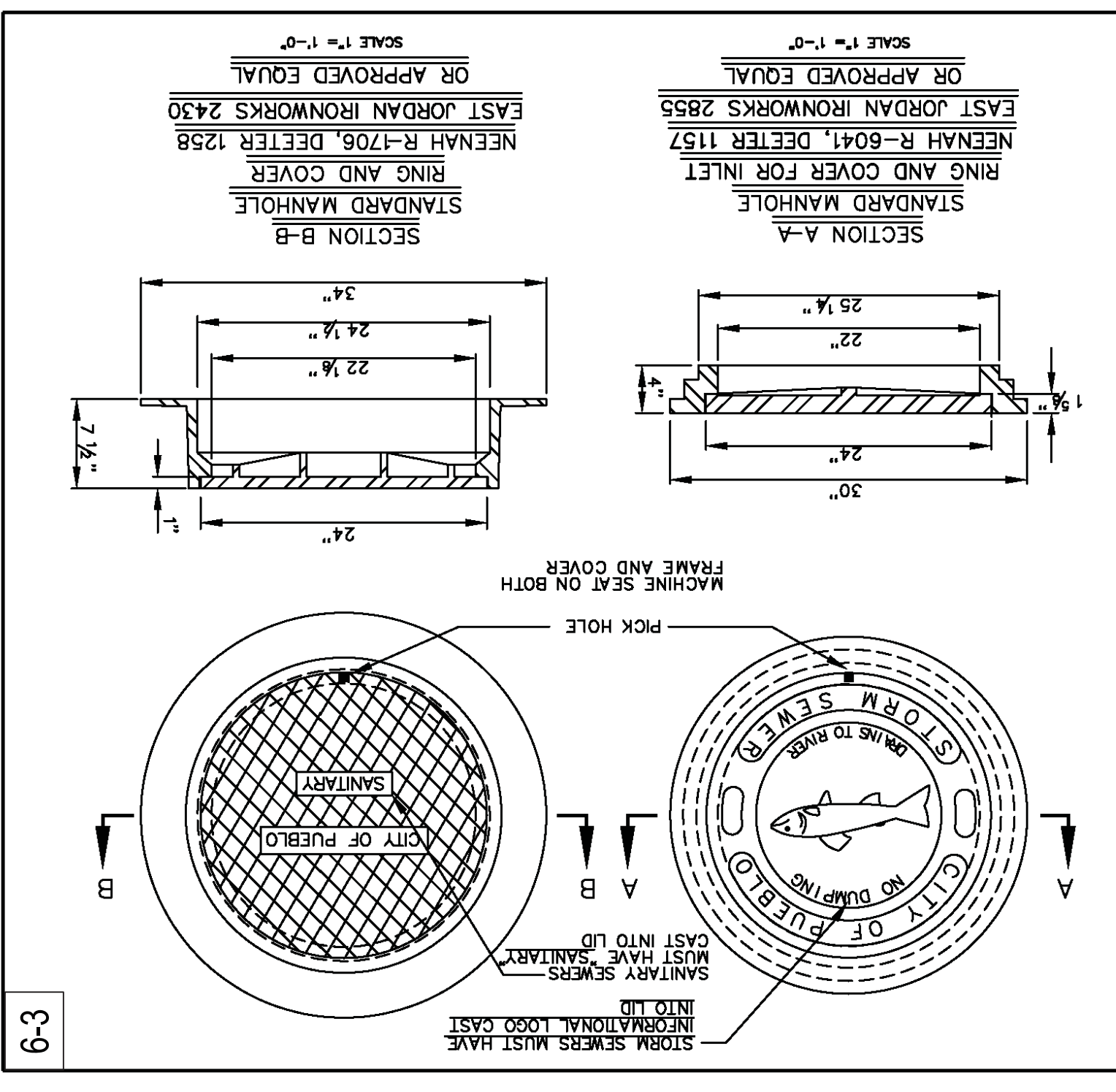
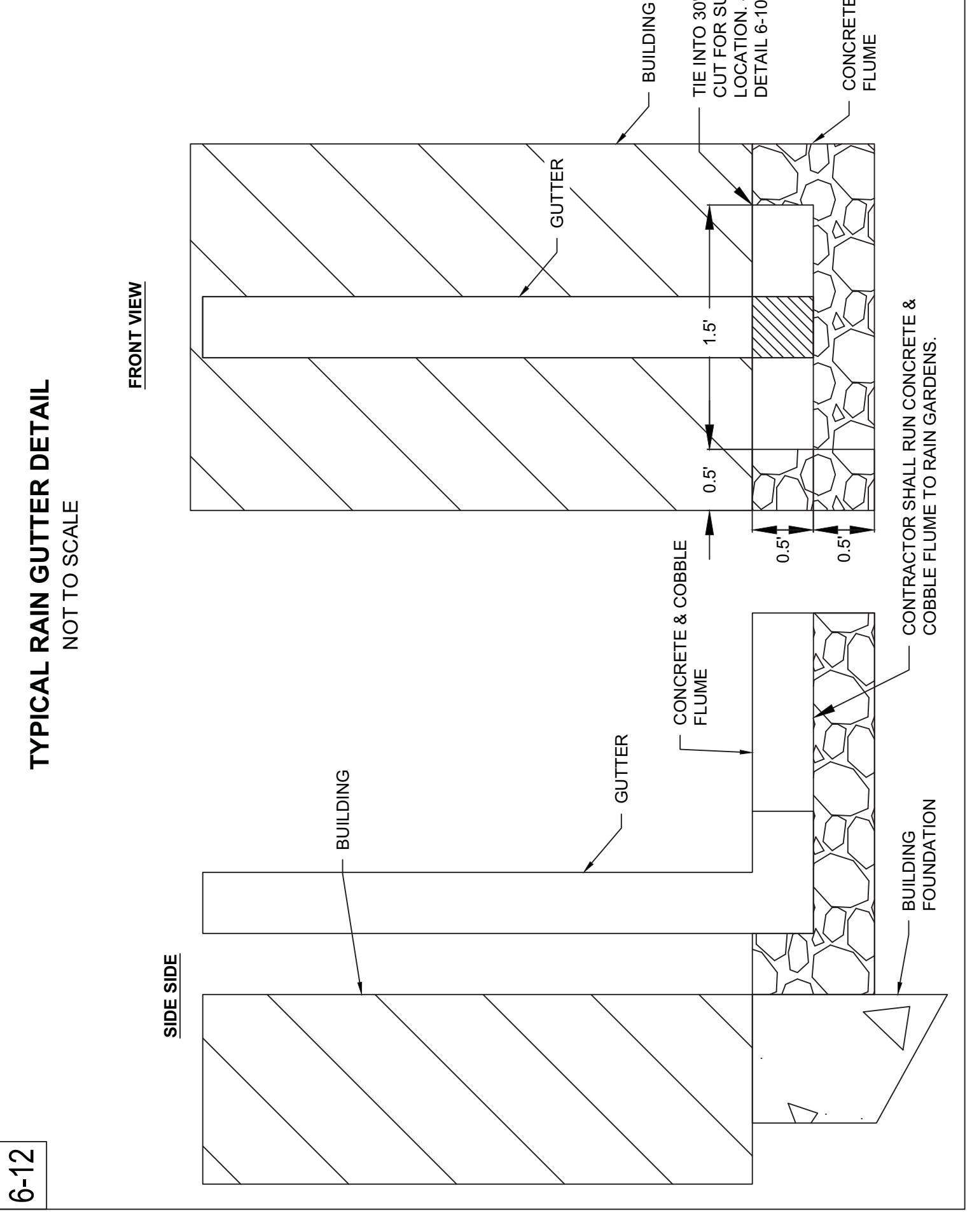
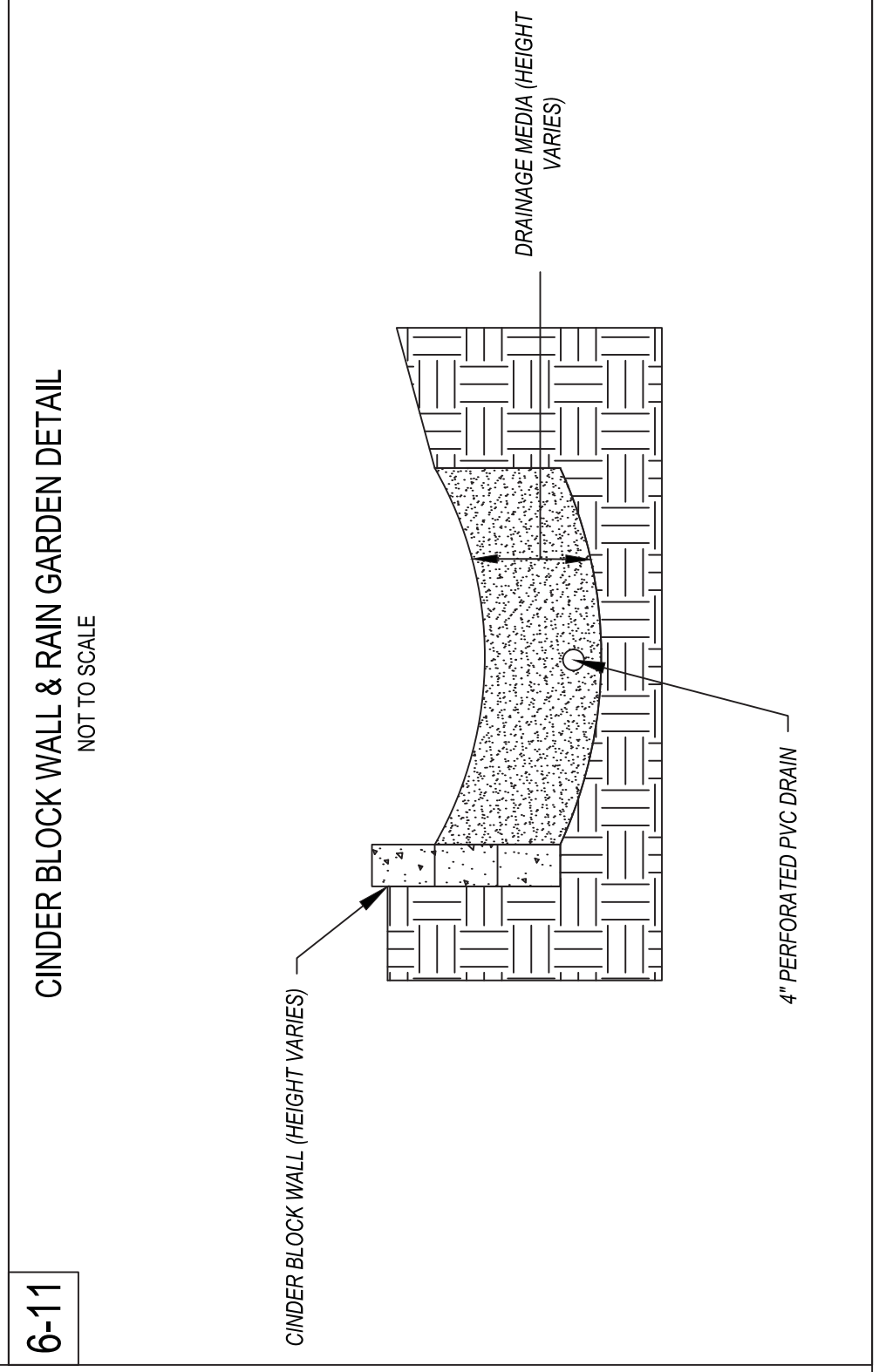
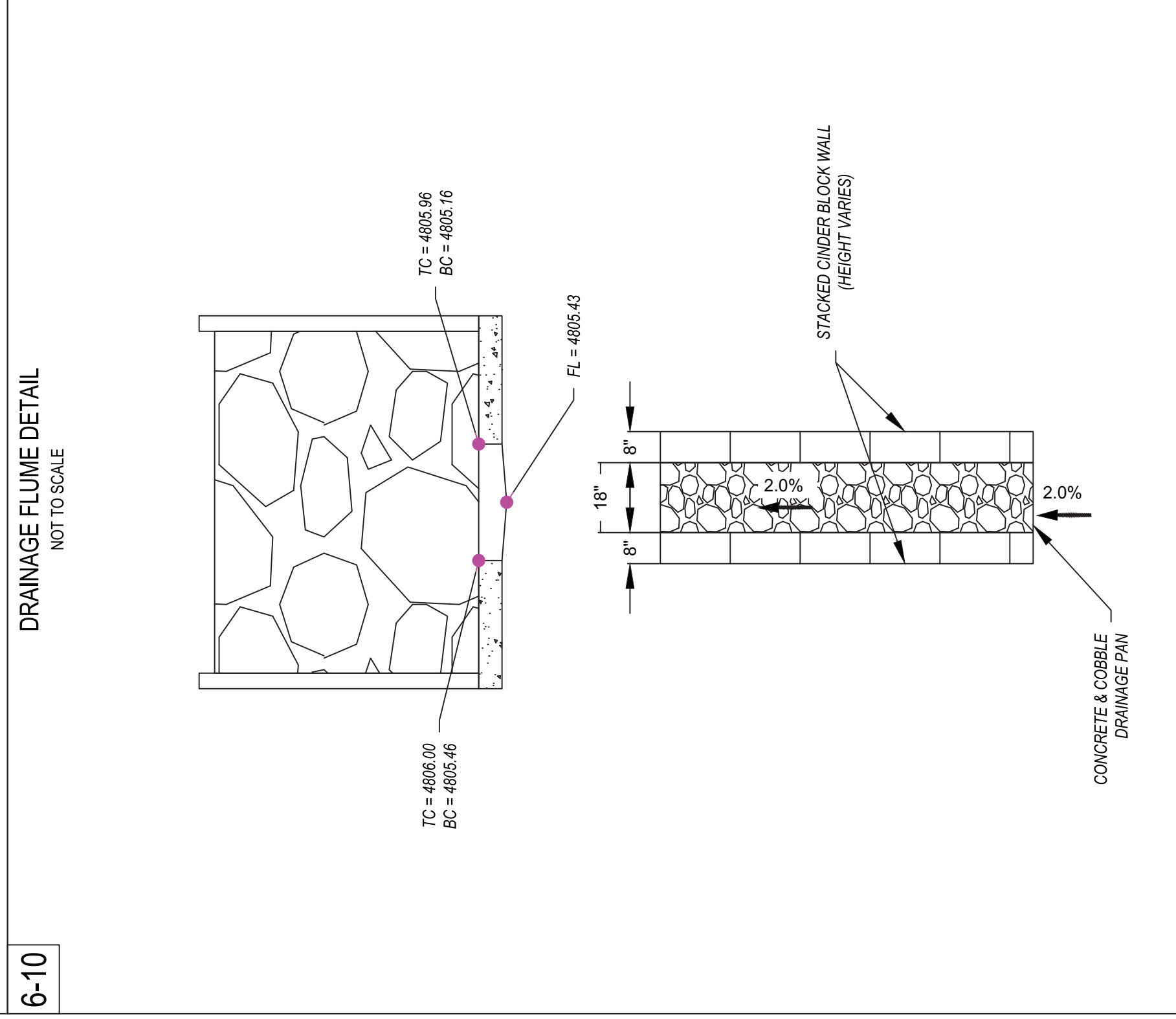
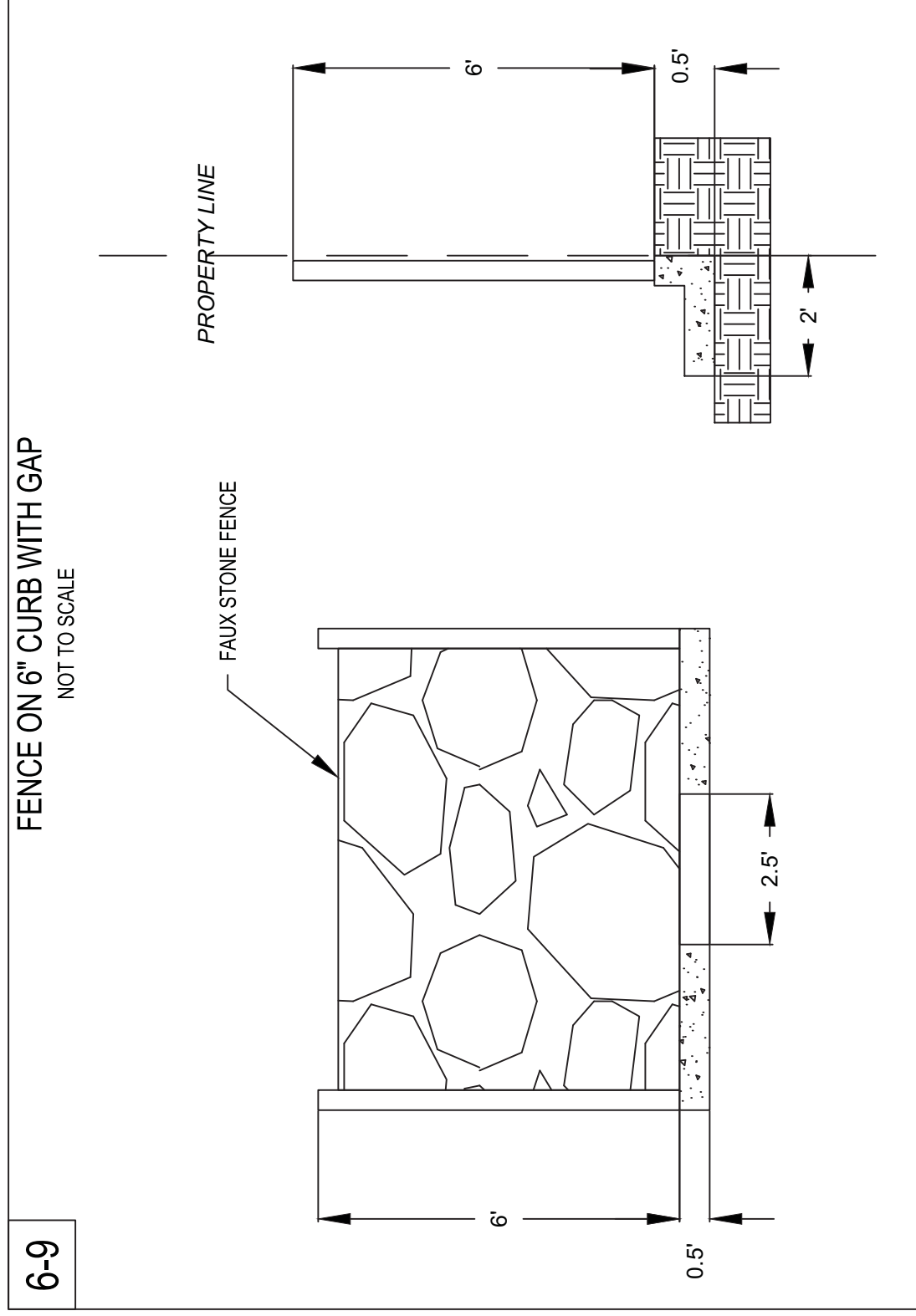
**GENERAL NOTES:**

1. ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC. IN APRIL, 2016.
2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
4. SITE BENCHMARK: 1

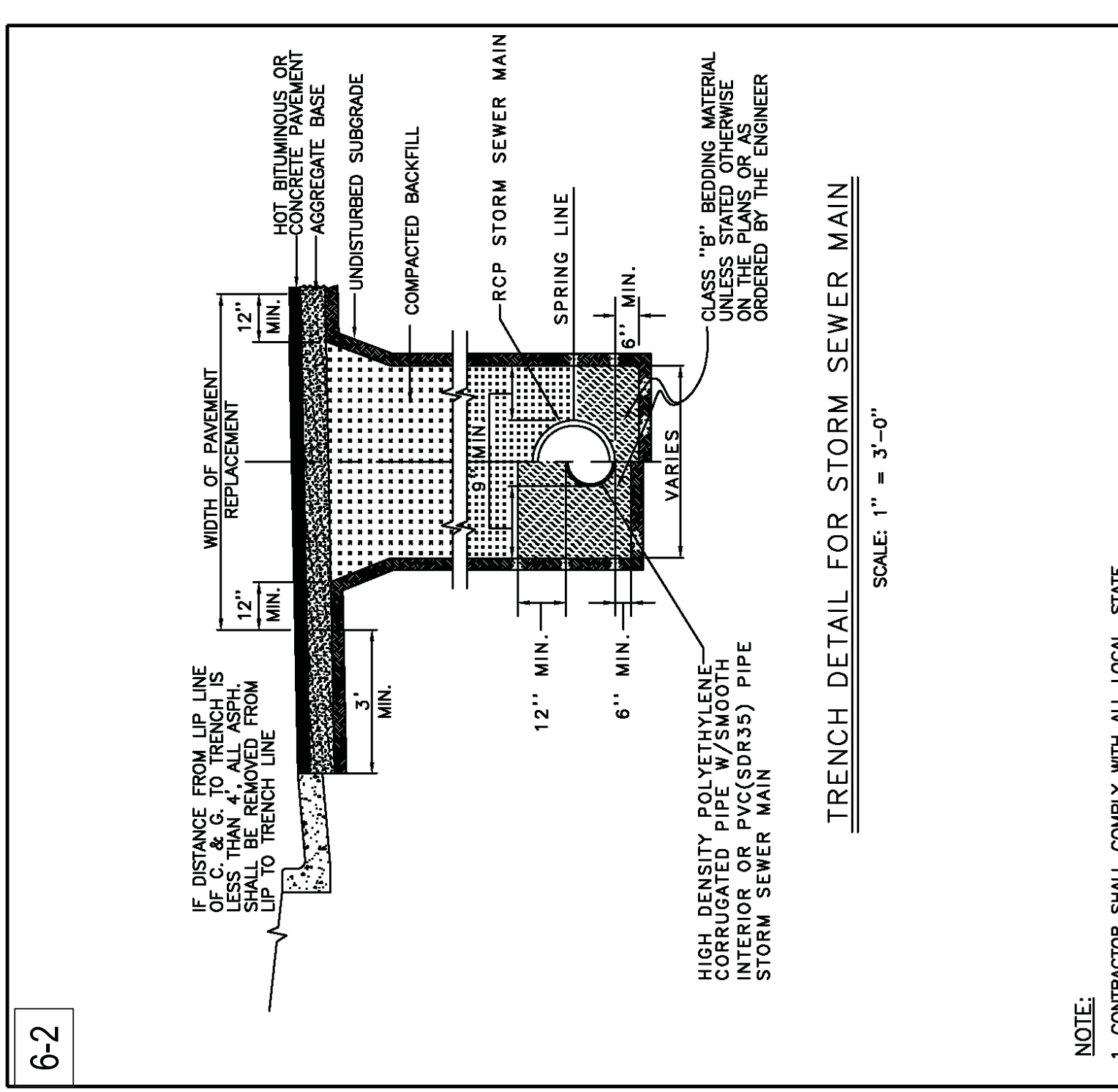
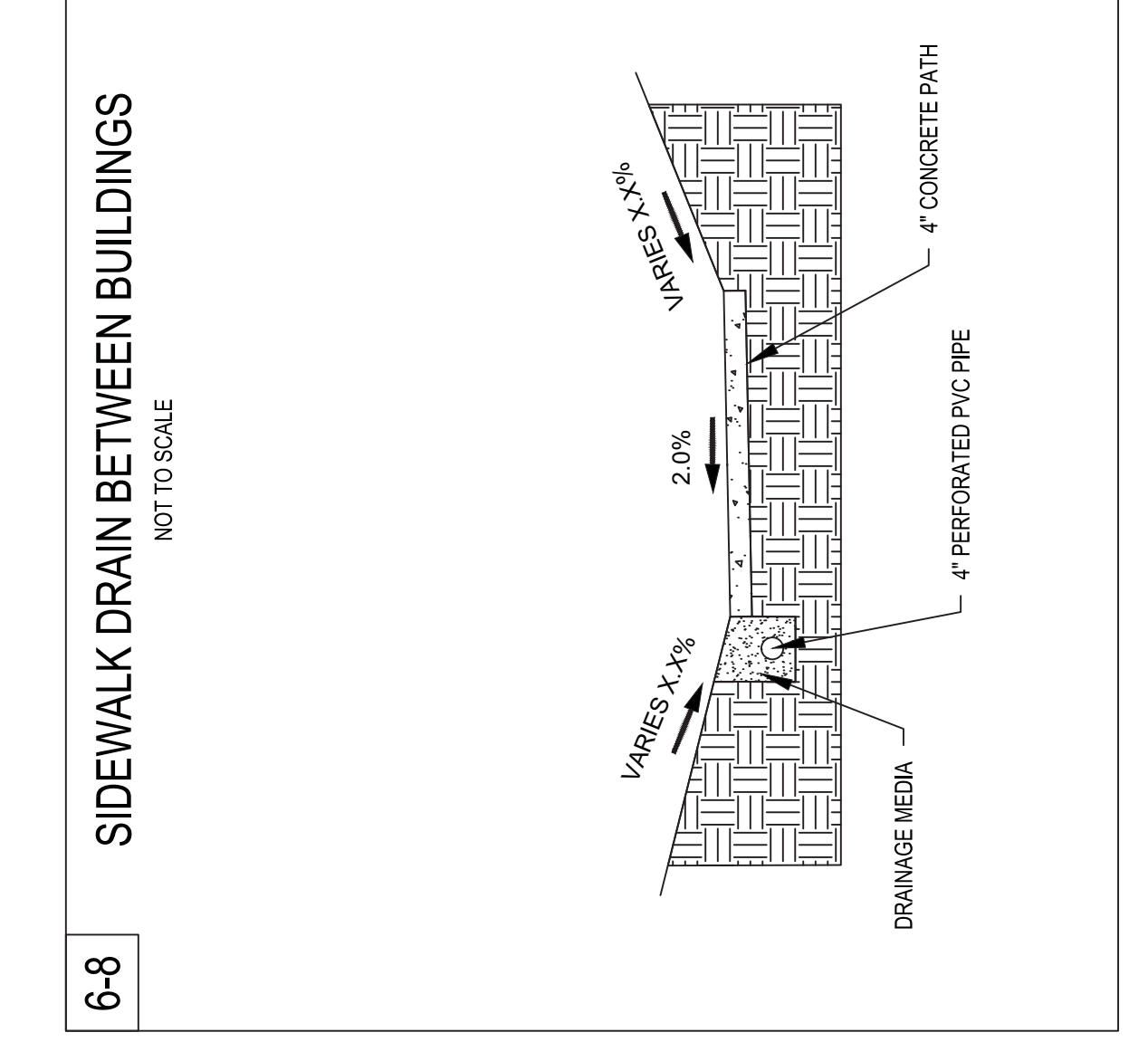
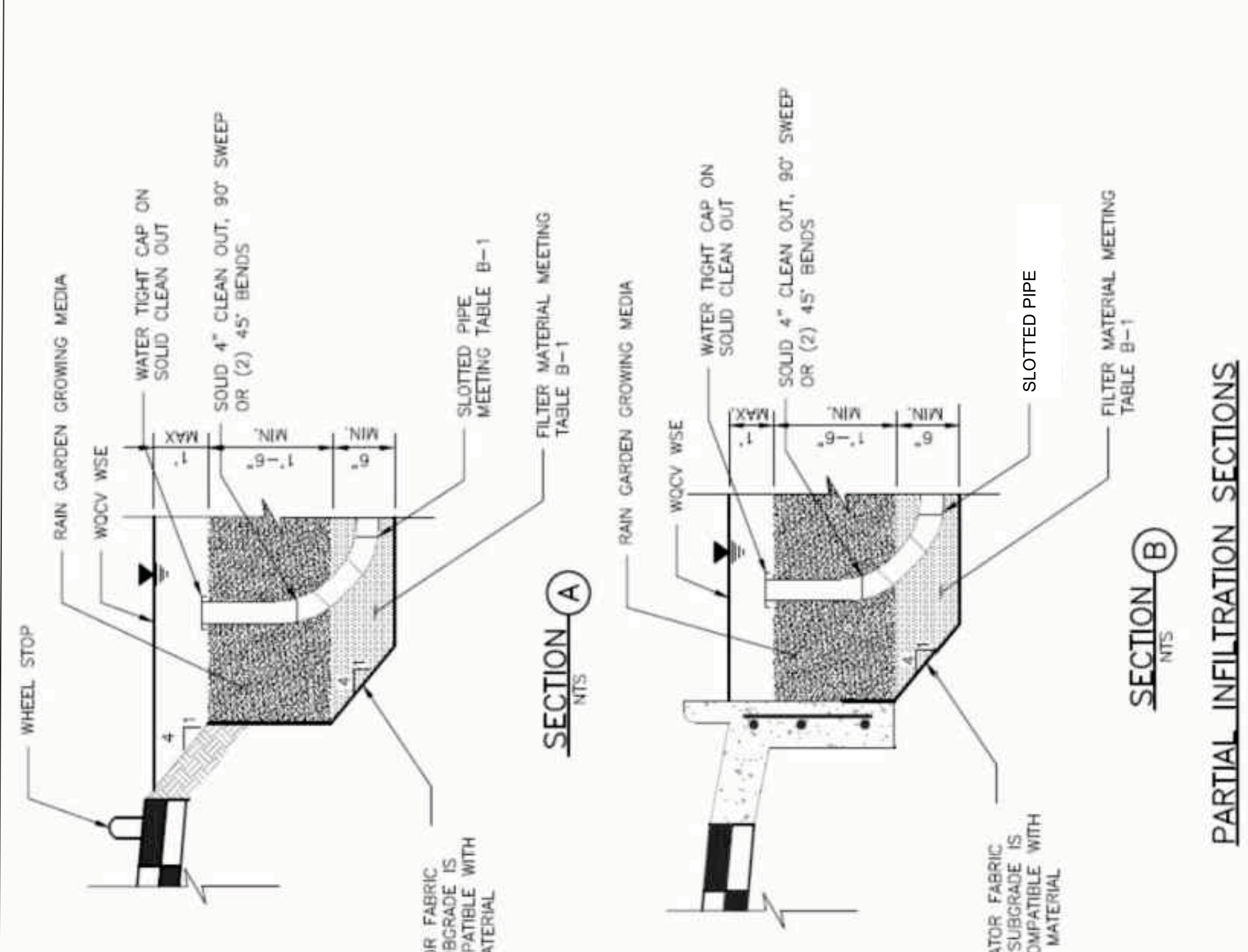


DRAWING SCALE & NORTH ARROW

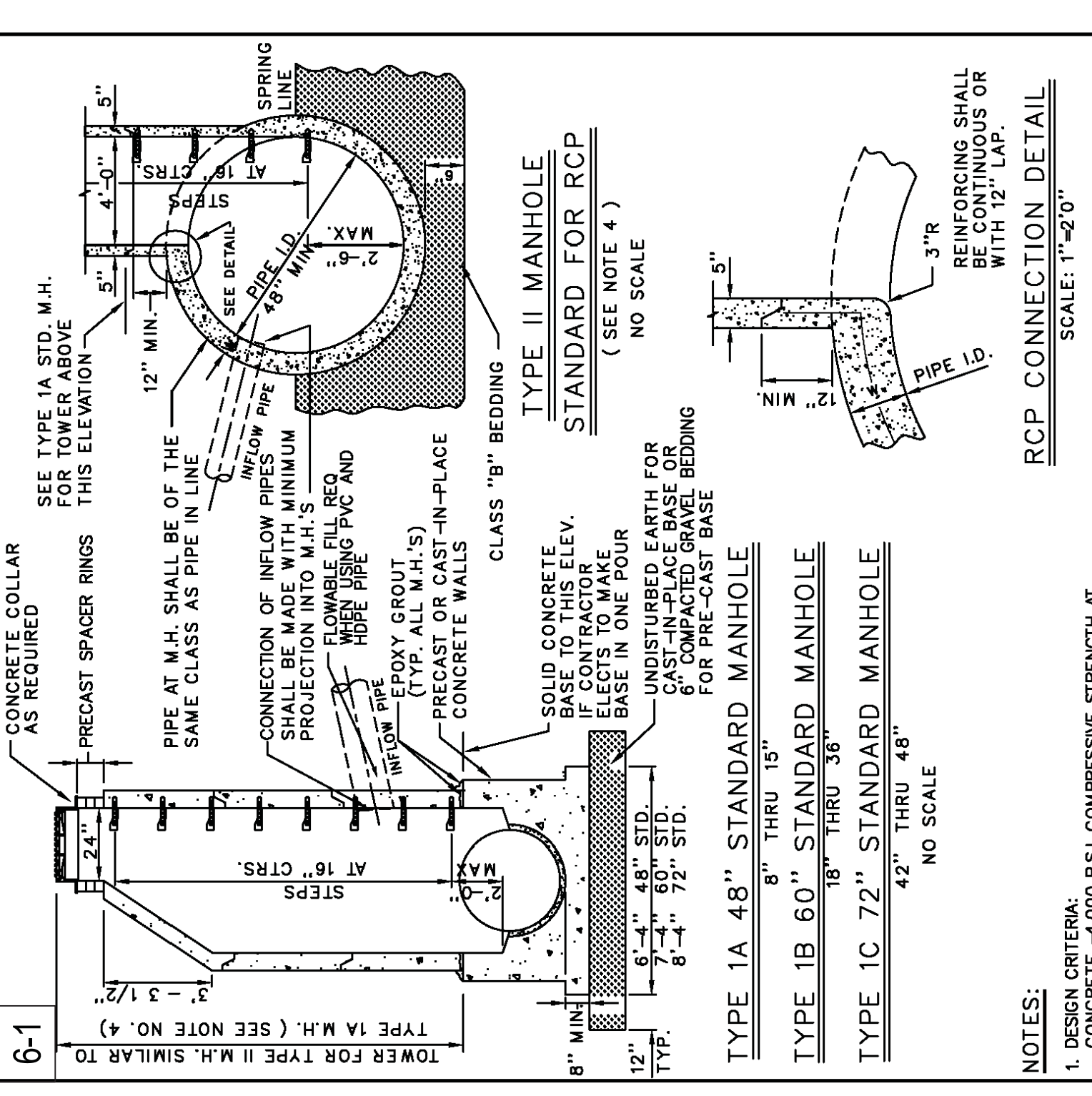
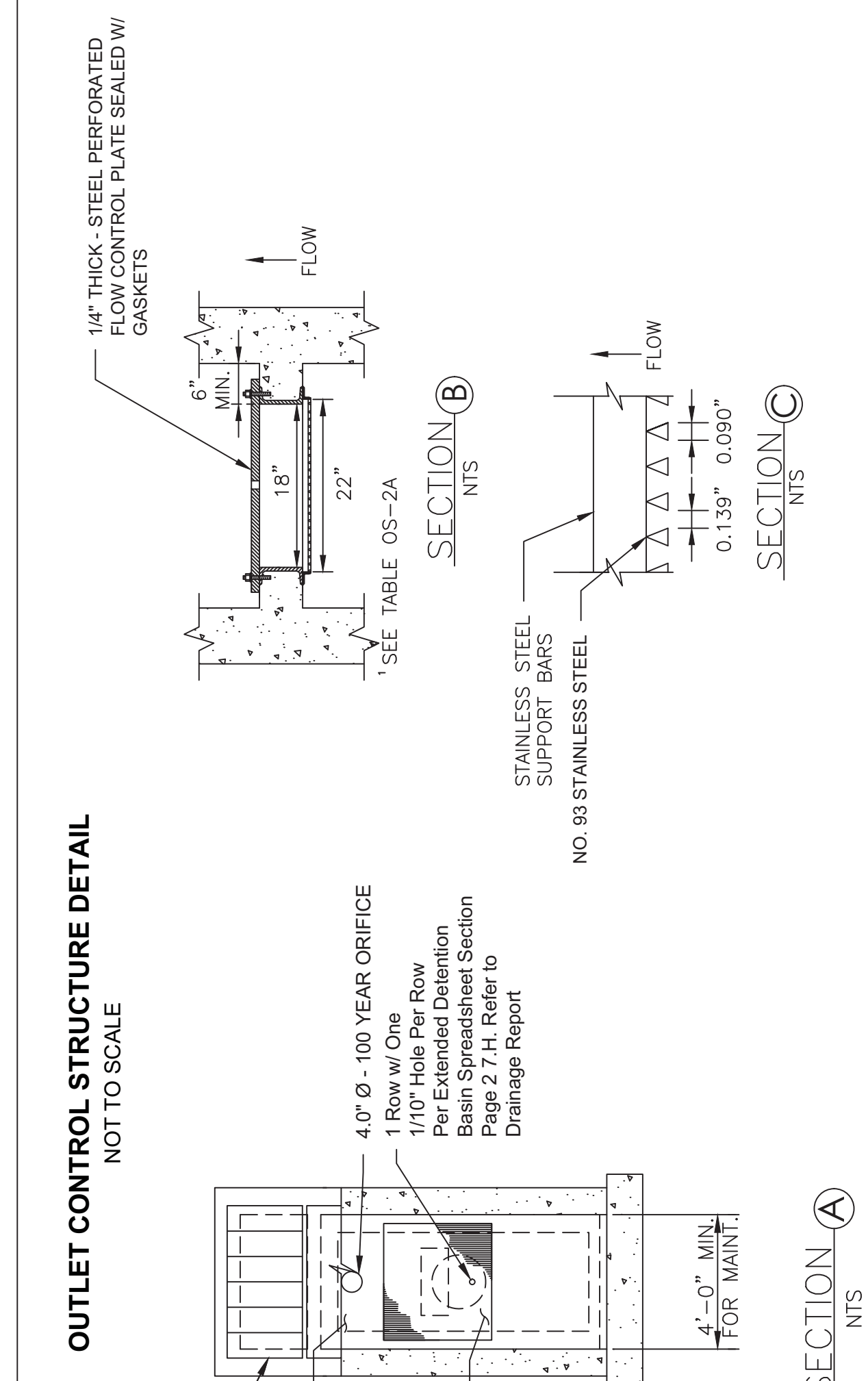
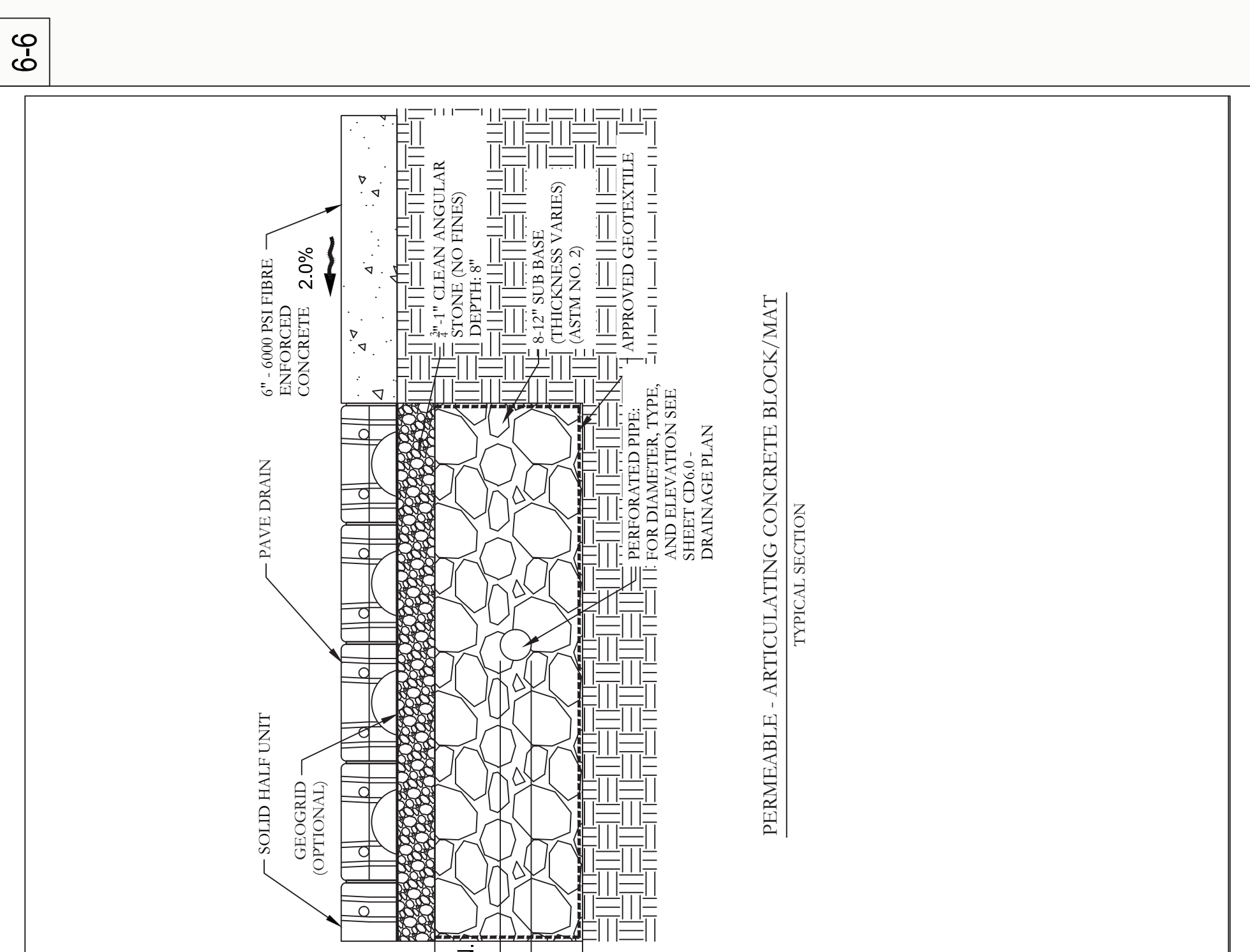




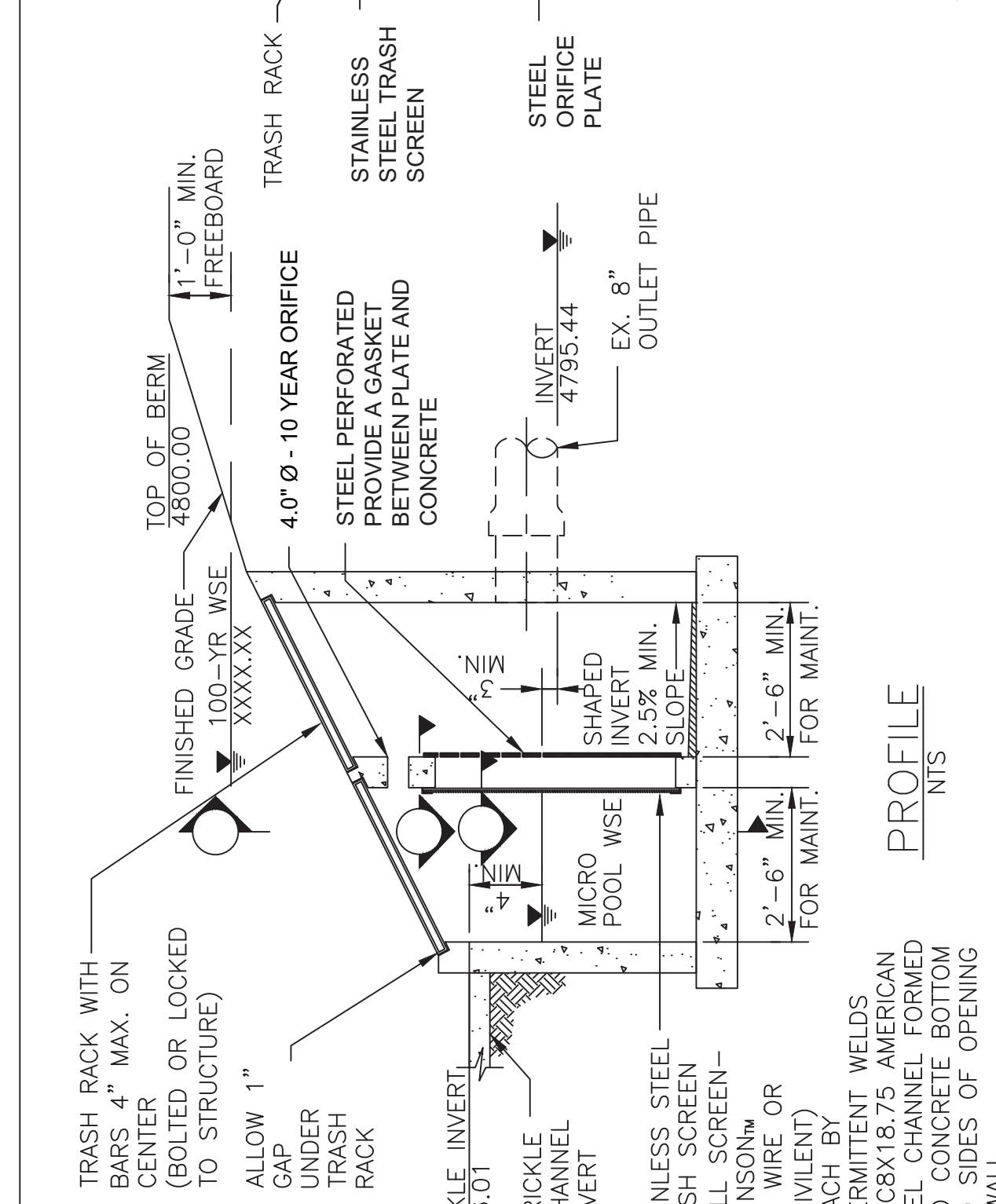
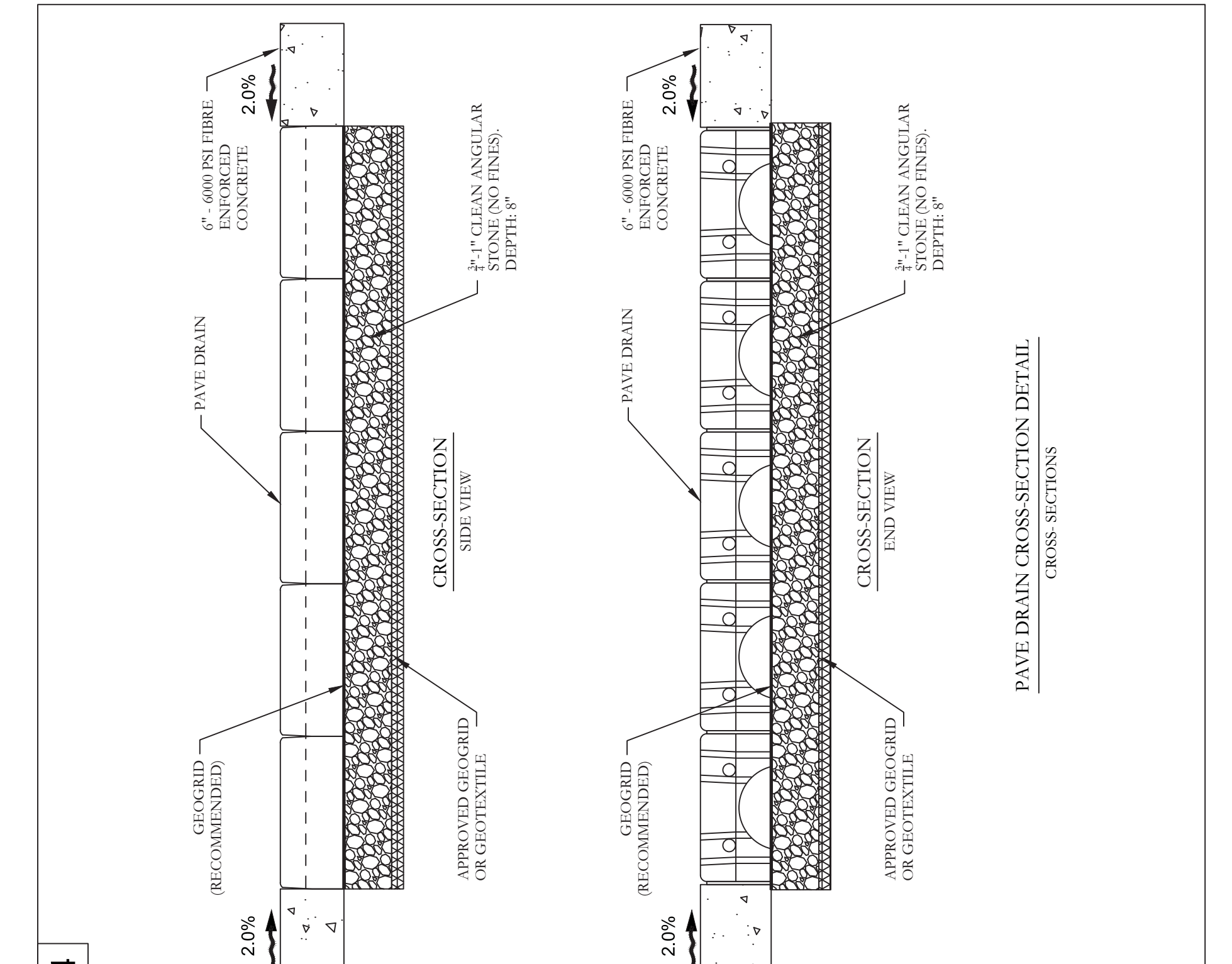
**MANHOLE NOTES**  
1. USE 24\"/>



**STORM SEWER TRENCH DETAIL**  
CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR TRENCHING AND BACKFILLING. UNLESS OTHERWISE NOTED ON PLANS, PROVIDE BOLT DOWN COVERS FOR MANHOLE IN RAIN GARDEN UNIMPROVED AREAS.



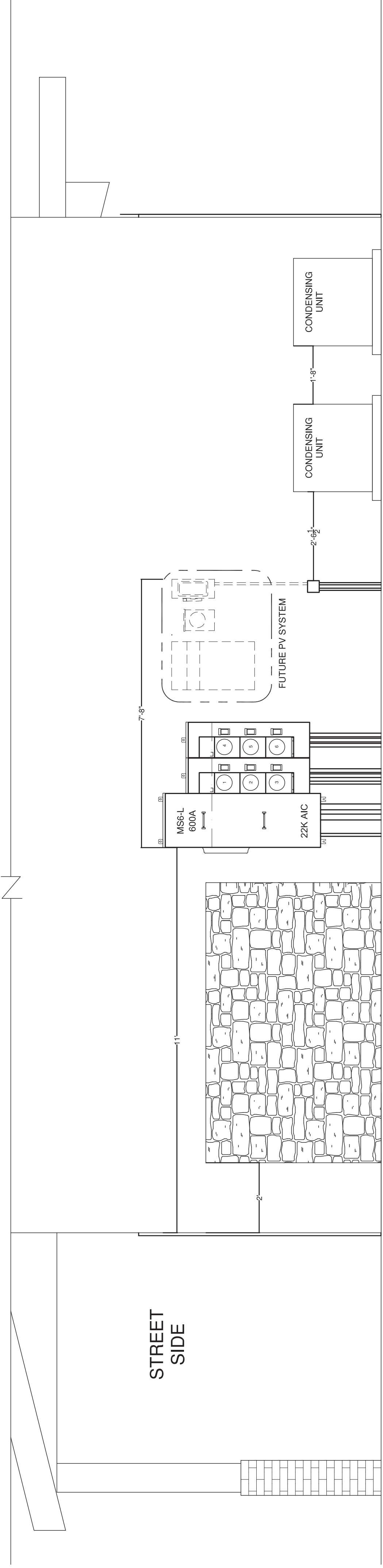
**STORM MANHOLES**  
DESIGN CRITERIA:  
1. CONCRETE - 4,000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS (TYPE I-4 CEMENT)  
2. FOR PIPE INVERT ELEV'S SEE PLAN & PROFILE SHEETS.  
3. LADDER RUNGS REQUIRED IN ALL M.H.'S  
4. IF ALTERNATE CSP DESIGN IS USED, TYPE II M.H. SHALL BE MODIFIED & CONSTRUCTED FROM CORRUGATED PIPE. BENCH/THROUGH SHALL BE CAST-IN-PLACE.



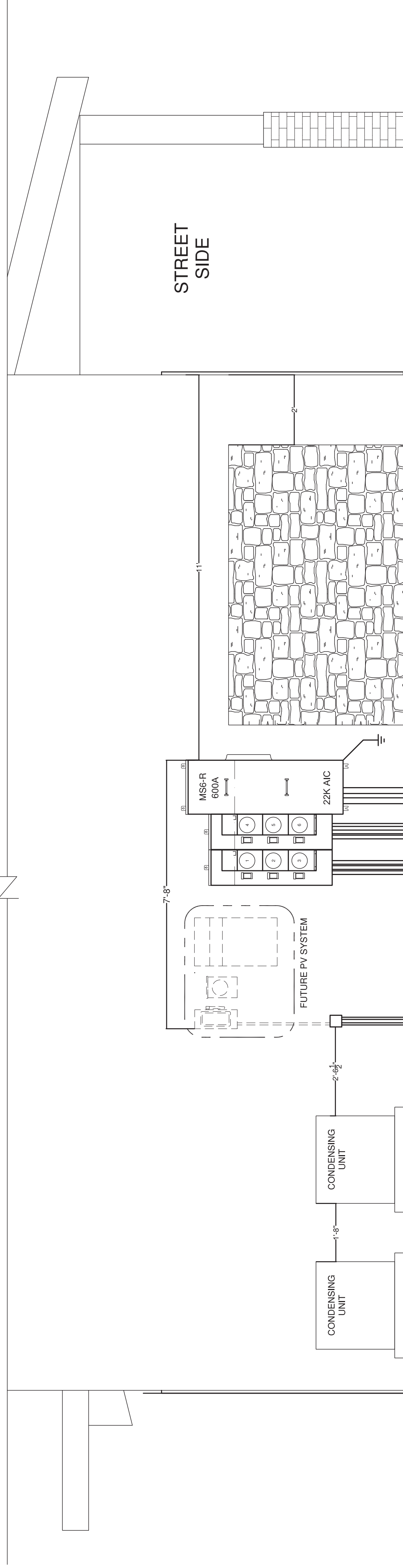




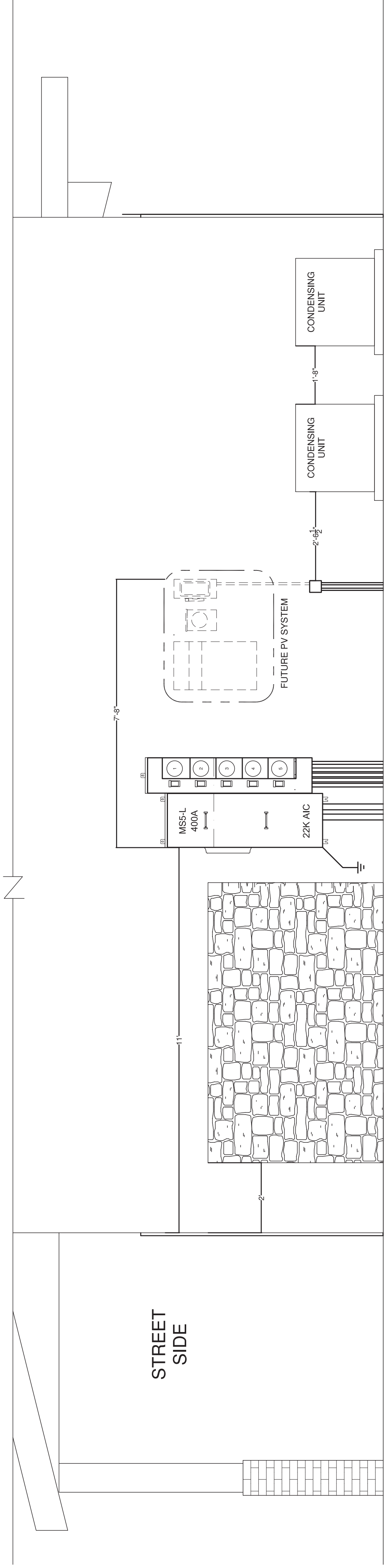




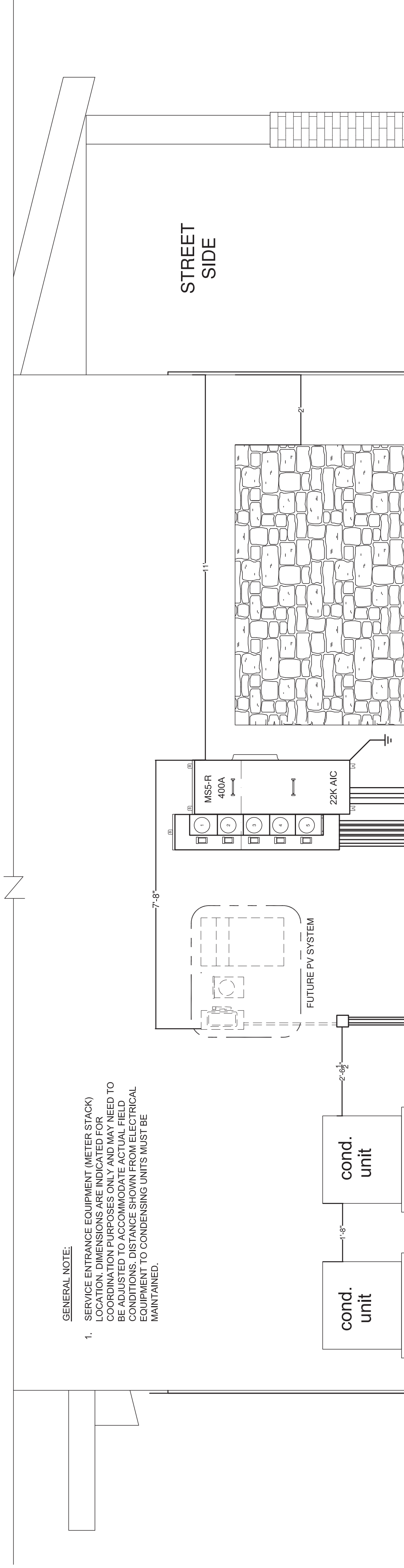
ELEVATION OF MS6-R METERSTACK ARRANGEMENT  
 SCALE: 1/2" = 1'-0"



ELEVATION OF MS6-L METERSTACK ARRANGEMENT  
 SCALE: 1/2" = 1'-0"



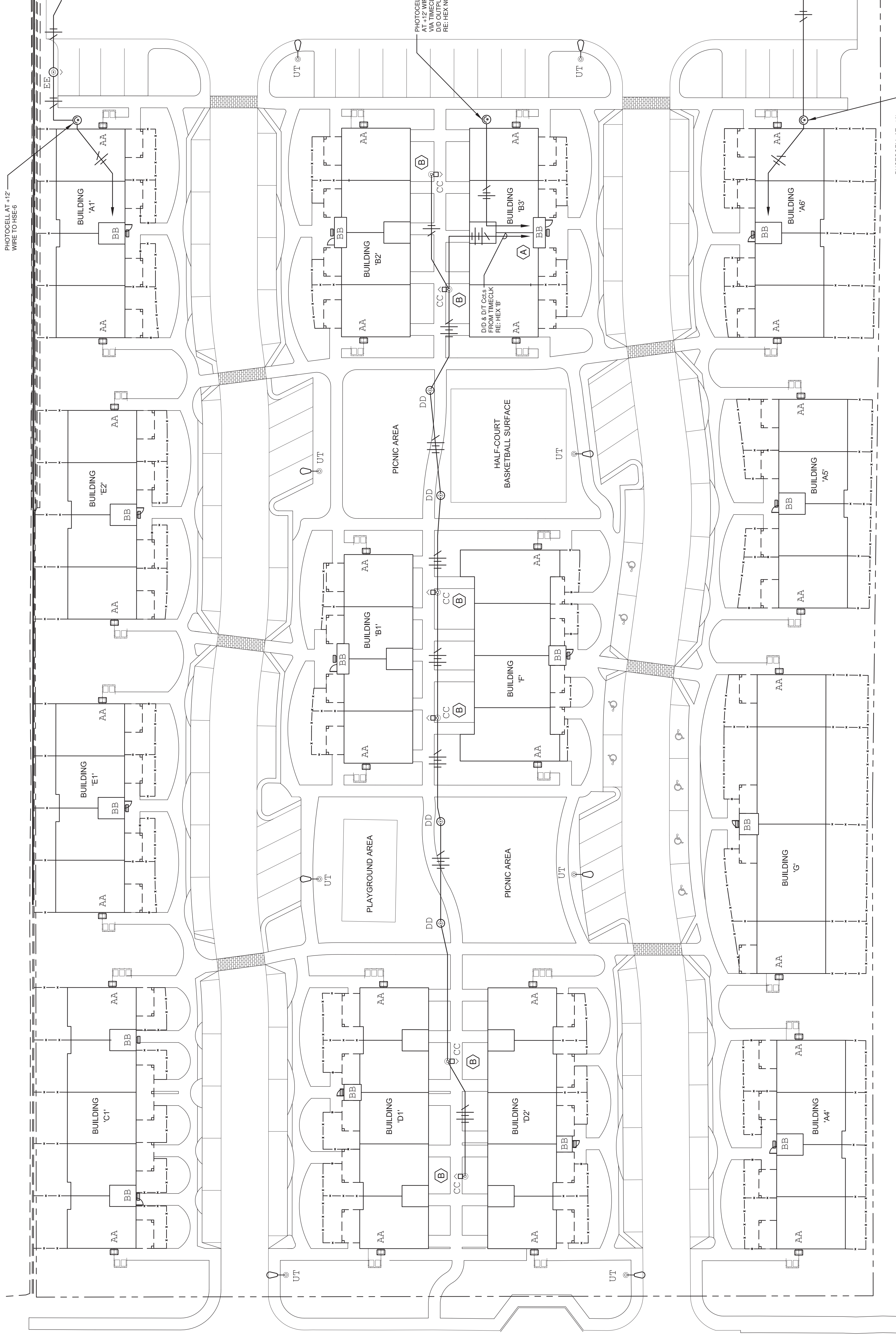
ELEVATION OF MS5-L METERSTACK ARRANGEMENT  
 SCALE: 1/2" = 1'-0"



ELEVATION OF MS5-R METERSTACK ARRANGEMENT  
 SCALE: 1/2" = 1'-0"

GENERAL NOTE:  
 1. SERVICE ENTRANCE EQUIPMENT (METER STACK) LOCATION, DIMENSIONS ARE INDICATED FOR INFORMATION ONLY. DIMENSIONS SHOULD BE ADJUSTED TO ACCOMMODATE ACTUAL FIELD CONDITIONS. DISTANCE SHOWN FROM ELECTRICAL EQUIPMENT TO CONDENSING UNITS MUST BE MAINTAINED.





PHOTOCELL AT 12' WIRE TO HSE-6

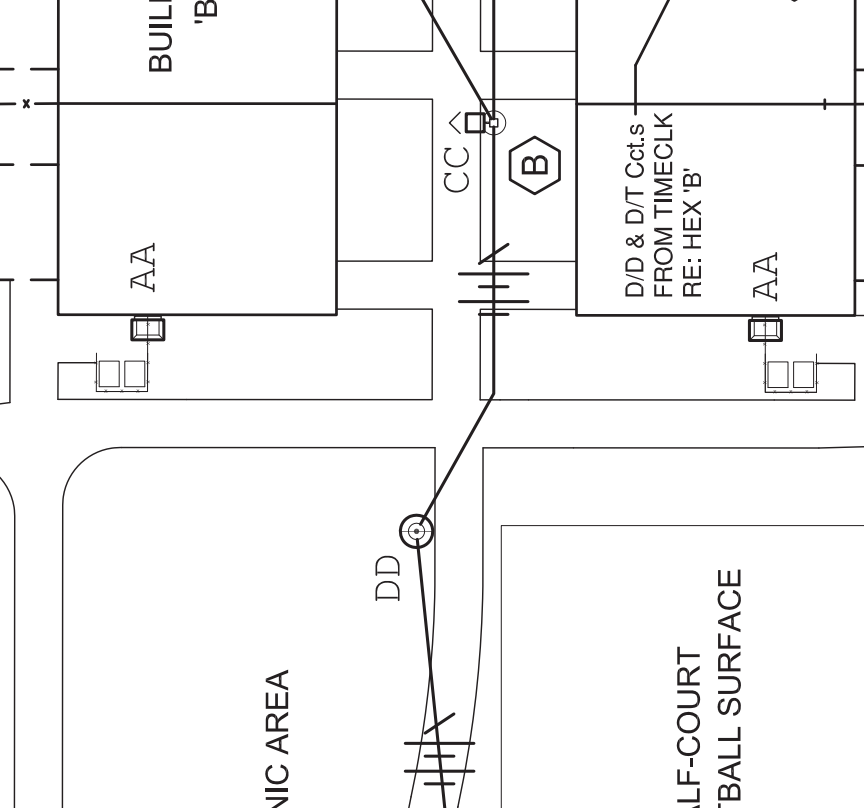
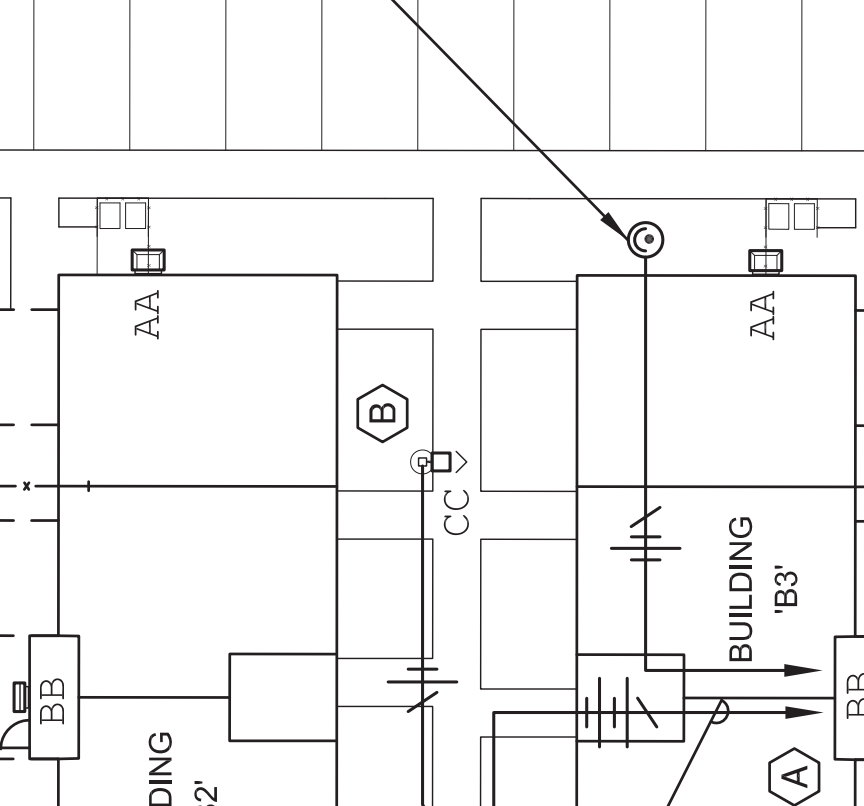
PHOTOCELL AT 12' WIRE TO HSE-6

PHOTOCELL AT 12' WIRE TO HSE-6

PHOTOCELL AT 12' WIRE TO HSE-6

PHOTOCELL AT 12' WIRE TO HSE-6

PHOTOCELL AT 12' WIRE TO HSE-6



- SITE LIGHTING GENERAL NOTES:**
1. ALL EXTERIOR FIXTURE SUBSTITUTIONS REQUIRE APPROVAL PRIOR TO BID. THE ENGINEER MUST RECEIVE SUBSTITUTION PRODUCT A MINIMUM OF 7 (SEVEN) WORKING DAYS PRIOR TO BID. SUBSTITUTIONS SHALL BE IDENTIFIED BY TYPE AND POINT LIGHTING CALCULATIONS WILL BE REQUIRED WITH THE SUBSTITUTION SUBMITTAL. INCLUDE ALL FIXTURES WITH THE EXCEPTION OF THE TYPE 'UT'.
  2. FIXTURE TYPES 'AA' & 'BB' ARE WIRED THRU A DISKDOWN PROGRAMMED ASTRONOMICAL WALL SWITCH, RE: UNIT PLANS.
  3. FIXTURE TYPES 'CC', 'DD' & 'EE' ARE TO BE WIRED DISKDOWN. SERIES EQUIPMENT.
  4. EXTERIOR PHOTOCELLS TO BE EQUIVALENT TO TORQ 2101.
  5. ALL EXTERIOR LIGHTING CIRCUITS ARE #12 (THWN-2).

- SITE WORK (HEX) NOTES:**
- A PROVIDE A TORQ 800 TIMECLOCK WITH DISKDOWN, DISKTIME AND TIME/OUT PUTS. WIRE TO HSE-6.
  - B FIXTURES ARE TO BE WIRED DISKDOWN. CAP OFF DISKTIME CIRCUIT AT POLE.

