

Legal Description:

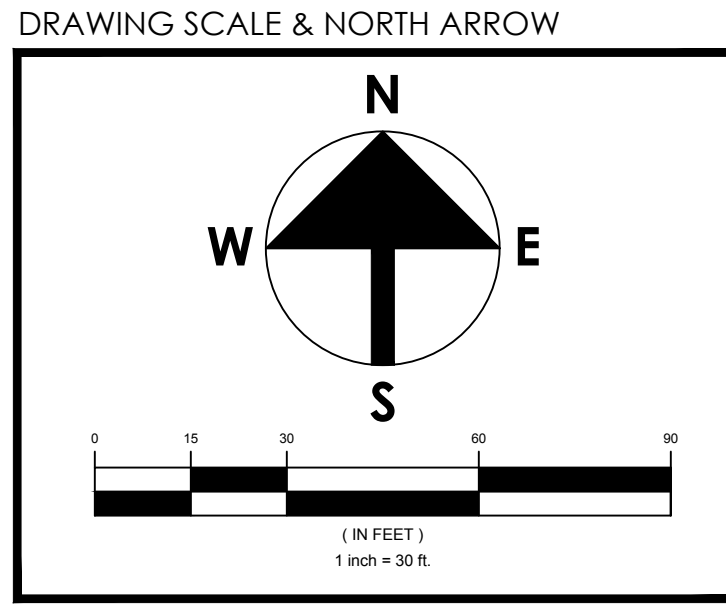
PARCEL #1 (UPLAND TOWNHOMES)
 A PARCEL OF LAND LOCATED IN A PORTION OF THE NORTHWEST ¼ OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF PUEBLO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 LOT 3, BLOCK 29, UPLANDS PARK AND PORTIONS OF LOT 4, BLOCK 29, UPLANDS PARK AS DESCRIBED IN QUIT CLAIM DEED FOUND AT BOOK 2526, PAGE 140 & PAGE 141, FURTHER DESCRIBED AS ALL OF TRACT 1 AND PORTION OF TRACT 2, LOT LINE REARRANGEMENT, BOOK 2453, PAGE 869.
COMMENCING AT THE FOUND BRASS TAG INSIDE OF RANGEBOX LOCATED IN THE INTERSECTION OF ACERO AVENUE AND WEST NORTHERN AVENUE, THENCE S88°54'45"E, A DISTANCE OF 673.28 FEET TO A POINT BEING THE NORTHWEST CORNER OF TRACT 1 FROM WHICH A 1.5" ALUMINUM CAP (L.S. 22101) WAS FOUND AT A 2.0' OFFSET BEING THE TRUE POINT OF BEGINNING;
 THENCE N88°54'45"E, A DISTANCE OF 627.06 FEET TO A POINT BEING THE NORTHEAST CORNER OF SAID TRACT FROM WHICH A #4 REBAR WITH A BROKEN CAP WAS FOUND AT 8.2' OFFSET;
 THENCE S01°04'24"E, A DISTANCE OF 627.03 FEET TO A POINT FROM WHICH A #5 REBAR WITH A RED CAP WAS FOUND AT A 1.90' OFFSET;
 THENCE S88°55'20"W, A DISTANCE OF 74.97 FEET TO A POINT BEING THE SOUTHEAST CORNER OF TRACT 2 FROM WHICH A MAG NAIL IN A CHISELED CROSS WAS FOUND AT 0.60' OFFSET;
 THENCE N01°03'33"W, A DISTANCE OF 270.15 FEET TO THE FOUND #4 REBAR WITH A YELLOW PLASTIC CAP (L.S. 10093);
 THENCE S88°52'38"W, A DISTANCE OF 80.12 FEET TO THE FOUND MAG NAIL AND BRASS TAG;
 THENCE S89°45'12"W, A DISTANCE OF 264.86 FEET TO THE FOUND #4 REBAR WITH A YELLOW PLASTIC CAP (L.S. 10093);
 THENCE S88°54'45"W, A DISTANCE OF 207.09 FEET TO THE FOUND 1.5" ALUMINUM CAP (L.S. 22101) BEING THE NORTHWEST CORNER OF TRACT 2 FROM WHICH LIES A FOUND BRASS TAG INSIDE A RANGEBOX AT BEARING S02°48'42"W, AT 294.47 FEET;
 THENCE N01°05'26"W, A DISTANCE OF 551.90 FEET BACK TO THE TRUE POINT OF BEGINNING
 CONTAINING 242,706 SQUARE FEET (5.57 +/- ACRES) MORE OR LESS.
BASIS OF BEARING STATEMENT: BASED ON THE NORTH LINE OF LOT 3, BLOCK 29, UPLANDS PARK ALSO KNOWN AS TRACT 1, LOT LINE REARRANGEMENT, RECORDED AT BOOK 2453, PAGE 869; BETWEEN THE FOUND 1.5" ALUMINUM CAP AT A 2.0' OFFSET AND THE FOUND #4 REBAR WITH A BROKEN CAP, ASSUMED TO BEAR N88°54'45"E.

PARCEL #2 (REMAINDER PARCEL)
 A PARCEL OF LAND LOCATED IN A PORTION OF THE NORTHWEST ¼ OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY AND COUNTY OF PUEBLO, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 A PORTION OF LOT 4, BLOCK 29, UPLANDS PARK AS DESCRIBED IN QUIT CLAIM DEED FOUND AT BOOK 2526, PAGE 140 & PAGE 141, FURTHER DESCRIBED AS ALL OF TRACT 1 AND PORTION OF TRACT 2, LOT LINE REARRANGEMENT, BOOK 2453, PAGE 869.
COMMENCING AT THE FOUND BRASS TAG INSIDE OF RANGEBOX LOCATED IN THE INTERSECTION OF ACERO AVENUE AND WEST NORTHERN AVENUE, THENCE S24°50'10"E, A DISTANCE OF 1420.27 FEET TO A POINT BEING THE SOUTHEAST CORNER OF THE REMAINDER PARCEL WHICH A MAG NAIL IN A CHISELED CROSS WAS FOUND AT A 0.5' OFFSET BEING THE TRUE POINT OF BEGINNING;
 THENCE N01°03'33"W, A DISTANCE OF 270.15 FEET TO THE FOUND #4 REBAR WITH A YELLOW PLASTIC CAP (L.S. 10093);
 THENCE S88°52'38"W, A DISTANCE OF 80.12 FEET TO THE FOUND MAG NAIL AND BRASS TAG;
 THENCE S89°45'12"W, A DISTANCE OF 264.86 FEET TO THE FOUND #4 REBAR WITH A YELLOW PLASTIC CAP (L.S. 10093);
 THENCE S88°54'45"W, A DISTANCE OF 207.09 FEET TO THE FOUND 1.5" ALUMINUM CAP (L.S. 22101) BEING THE NORTHWEST CORNER OF TRACT 2 FROM WHICH LIES A FOUND BRASS TAG INSIDE A RANGEBOX AT BEARING S02°48'42"W, AT 294.47 FEET;
 THENCE S01°05'26"E, A DISTANCE OF 273.89 FEET TO A POINT BEING THE SOUTHWEST CORNER OF LOT 4, BLOCK 29, UPLANDS PARK;
 THENCE S88°55'20"W, A DISTANCE OF 551.90 FEET BACK TO THE TRUE POINT OF BEGINNING,
 CONTAINING 150,383 SQUARE FEET (3.45 +/- ACRES) MORE OR LESS.
BASIS OF BEARING STATEMENT: BASED ON THE NORTH LINE OF LOT 3, BLOCK 29, UPLANDS PARK ALSO KNOWN AS TRACT 1, LOT LINE REARRANGEMENT, RECORDED AT BOOK 2453, PAGE 869; BETWEEN THE FOUND 1.5" ALUMINUM CAP AT A 2.0' OFFSET AND THE FOUND #4 REBAR WITH A BROKEN CAP, ASSUMED TO BEAR N88°54'45"E.

SURVEYOR'S CERTIFICATE:

I, KARL W. FRANKLIN, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO HEREBY CERTIFY THAT:
 - THIS SURVEY IS A TRUE AND CORRECT LAND SURVEY PLAT AND WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE AND COMPLIES WITH CRS 38-51-106.
 - THIS SURVEY IS BASED UPON THIS SURVEYOR'S KNOWLEDGE, INFORMATION AND BELIEF.
 - THIS IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE.
 THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED PROFESSIONAL LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING, CONSTITUTES AN OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

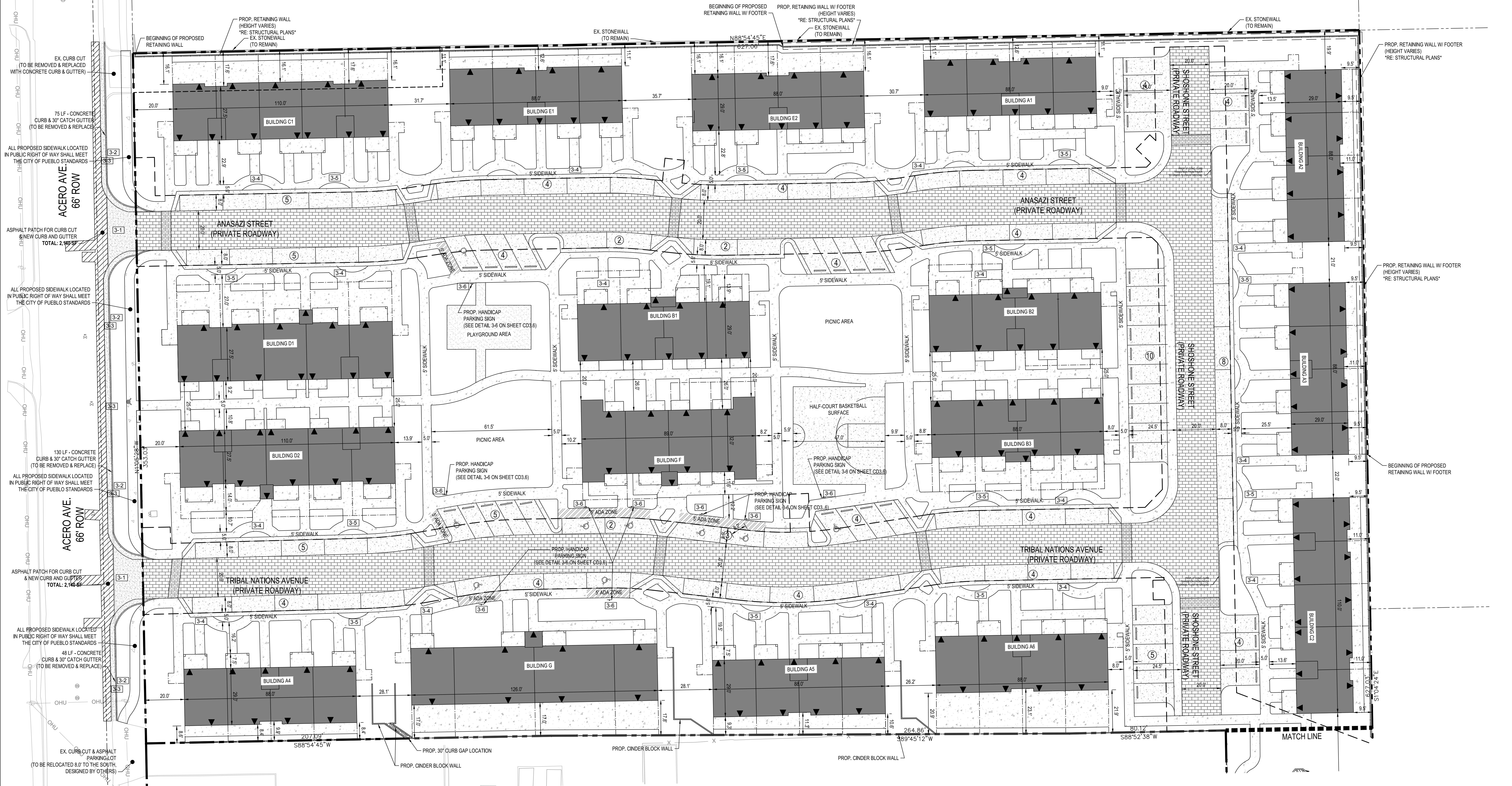
- GENERAL NOTES:**
- ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC., IN APRIL, 2016.
 - UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
 - SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
 - SITE BENCHMARK: VERTICAL DATUM IS NAVD88 USING GEOID128 TO DERIVE ELEVATIONS.



ALTITUDE ARCHITECTS
 LAND SURVEY & PLANNING CONSULTANTS
 1111 1/2 AVENUE
 PUEBLO, CO 81004
 TEL: 719.545.1111
 WWW.ALTITUDEARCHITECTS.COM

UPLANDS TOWNHOMES
 DEVELOPED BY THE HOUSING AUTHORITY OF PUEBLO
 PROJECT No.: I.F.B. 17-524-RAD
 ACERO AVE. and SPRAGUE AVE., PUEBLO, COLORADO 81004

DATE: 03-29-2017
 DRAWN: J.M.G.
 CHECK: E.T.B.
 REVISIONS:
ADDENDUM #2 -05/15/17
CIVIL CD's
 SHEET DEMO PLAN
C2.0R



DETAIL KEY (SEE SHEET C3.6):

- 3-1 TYPICAL STREET INTERSECTION
- 3-2 EXPANSION JOINT DETAILS
- 3-3 CONCRETE CURB AND GUTTER - DOUBLE CUTTER AND CROSS PAN
- 3-4 JOINT PLACEMENT AND WIDTH STANDARDS
- 3-5 GENERAL SIDEWALK AND STREET DETAIL
- 3-6 HANDICAP SIGN DETAIL

DRAWING SCALE & NORTH ARROW

LEGEND

- Property Line
- Proposed P.U.E.
- Existing Fence
- Proposed Fence
- Parking Space Count
- 6" - 4000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)
- 4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
- Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
- Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
- Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
- Pavedrain Porous Pavers (See Table 3, Sheet C3.0 for Quantities)
- Rubber Fall Protection for Playground (See Table 3, Sheet C3.0 for Quantities)

JOINING NOTE:
 1. CONTRACTOR SHALL INSTALL CONTROL JOINTS ON ALL PRIVATE WALKS PER THE CITY OF PUEBLO STANDARD DETAILS.

STRIPING NOTE:
 1. CONTRACTOR SHALL USE THERMOPLASTIC PAINT TO PAINT PARKING STRIPES, ADA ZONES, AND BASKETBALL COURT AS SHOWN HEREON. (SEE SHEETS C3.2-C3.5 FOR DIMENSIONS).

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 4. SITE BENCHMARK: DATUM DATUM IS NAVD88 USING GEOID12B TO DERIVE ELEVATIONS.

Table 3
Upland Townhomes - Hardscape Quantities (TOTAL)

Material	Quantity
Concrete	
6" - 4,000 psi - Fibre Reinforced Parking	24,276 SF
4" - 3,500 psi - Private walks & patios	54,810 SF
Asphalt Street Patch	2,140 SF
Public walks per Pueblo Std. Drawings	1,870 SF
Pavedrain Porous Pavers	28,420 SF
Rubber Sand for Playground	1,110 SF
6" - 4,000 psi - Private Walks w/ Premium Paint	4,065 SF
Public curbs, & curb cuts per Pueblo Std. Drawings	1,830 SF

*Note: The above quantities have been provided as a courtesy, it shall be the responsibility of the contractor to confirm quantities.

END OF PROPOSED RETAINING WALL

SPRAGUE AVE. 66' ROW

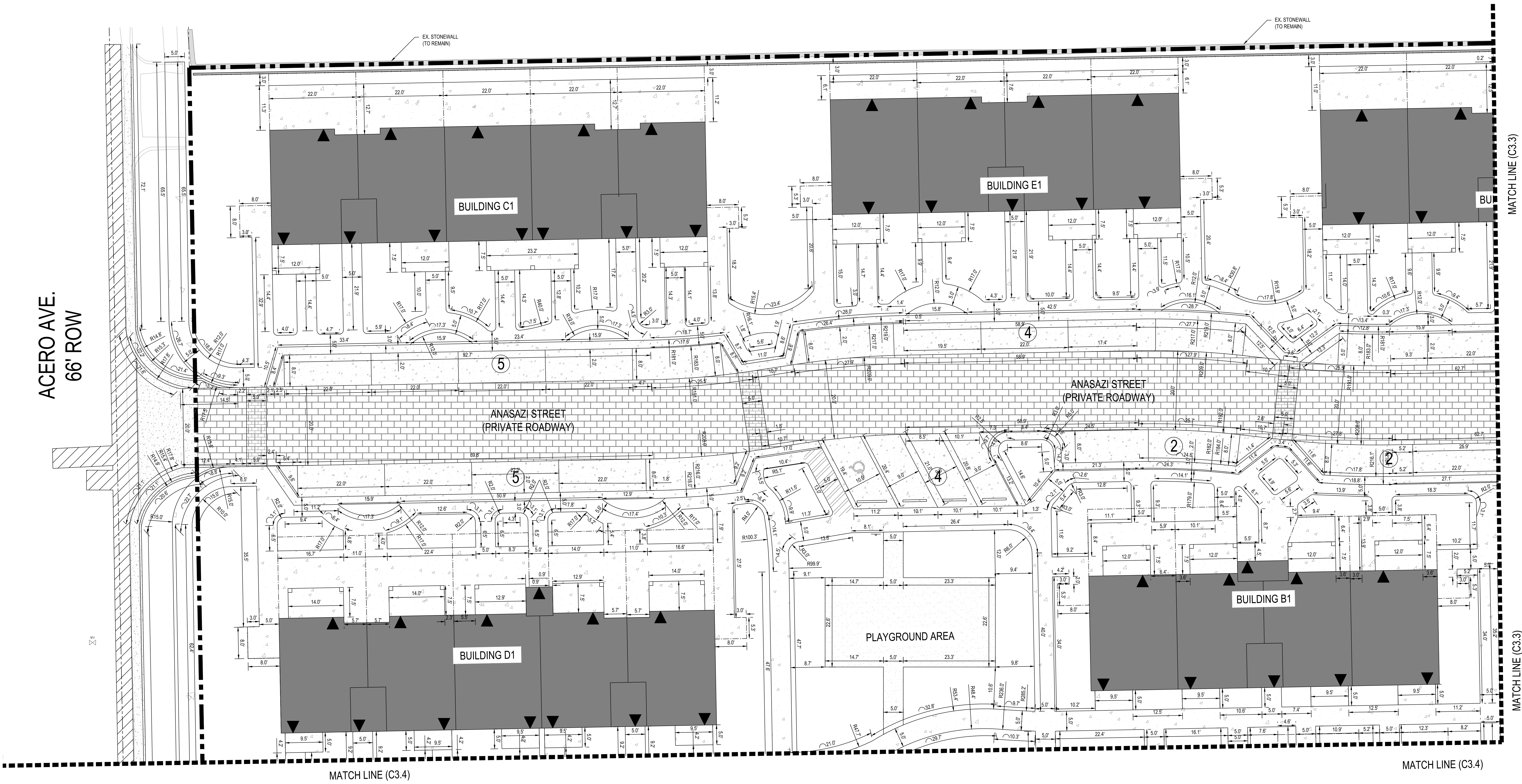
DRAWING SCALE & NORTH ARROW

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Public curbs, & curb cuts per Pueblo Std. Drawings	1,830 SF

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ACERO AVE.
66' ROW



MATCH LINE (C3.4)

MATCH LINE (C3.4)

MATCH LINE (C3.3)

MATCH LINE (C3.4)

Upland Townhomes - Hardscape Quantities (TOTAL)		
Material	Concrete	Quantity
6" - 4,000 psi - Fibre Reinforced Parking		24,276 SF
4" - 3,500 psi - Private walks & patios		54,810 SF
Asphalt Street Patch		2,140 SF
Public walks per Pueblo Std. Drawings		1,870 SF
Rubber Sand for Playground		1,110 SF
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RADIUS NOTE:
1. ALL SMALL CURVES LOCATED AT THE JUNCTIONS OF THE PRIVATE WALKS THAT ARE NOT DIMENSIONED HAVE A TYPICAL RADIUS OF 1.0 FEET.

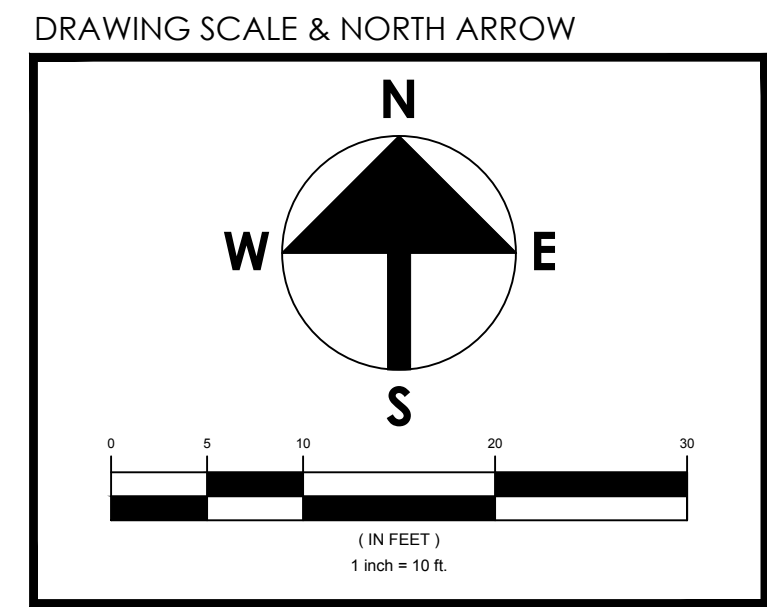
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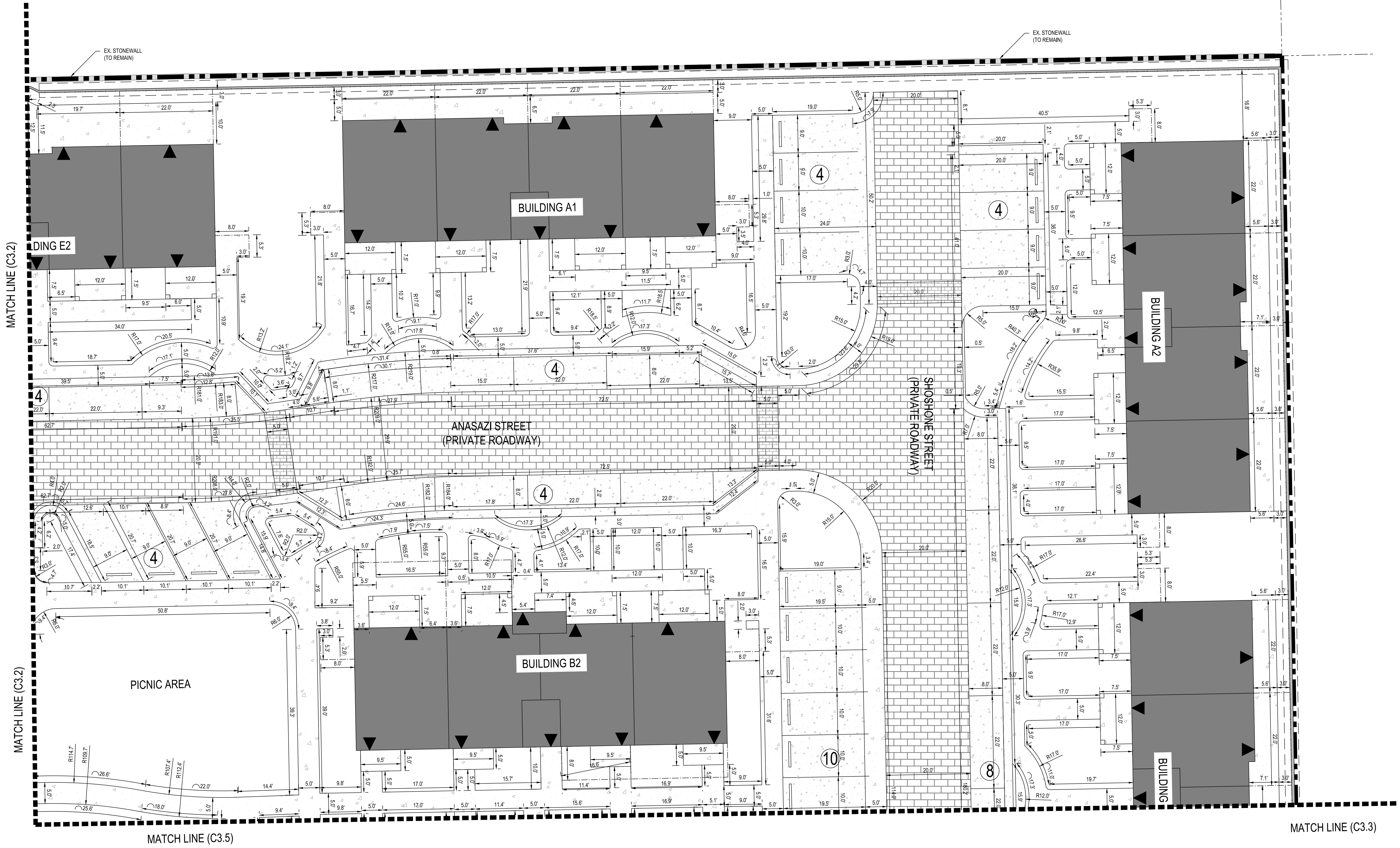
4. SITE BENCHMARK: VERTICAL DATUM IS NAVD88 USING GEOID12B TO DERIVE ELEVATIONS.



STRIPING NOTE:
1. CONTRACTOR SHALL USE THERMOPLASTIC PAINT TO PAINT PARKING STRIPES, ADA ZONES, AND BASKETBALL COURT AS SHOWN HEREON. (SEE SHEETS C3.2-C3.5 FOR DIMENSIONS).

LEGEND

	Property Line
	Proposed F.U.E.
	Existing Fence
	Proposed Fence
	Parking Space Count
	6" - 4000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)
	4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
	Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
	Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
	Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
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	Rubber Fall Protection for Playground (See Table 3, Sheet C3.0 for Quantities)

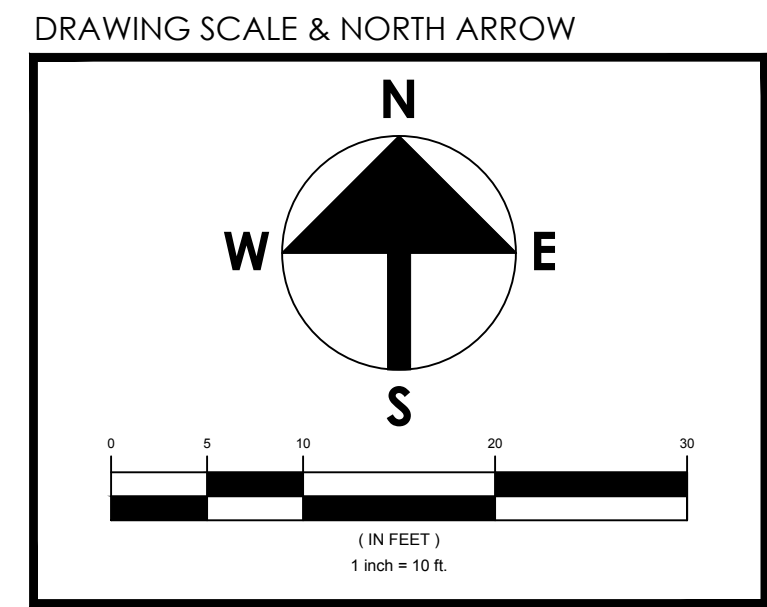


Upland Townhomes - Hardscape Quantities (TOTAL)	
Material	Quantity
Concrete	
6" - 4,000 psi - Fibre Reinforced Parking	24,276 SF
4" - 3,500 psi - Private walks & patios	54,810 SF
Asphalt Street Patch	2,140 SF
Public walks per Pueblo Std. Drawings	1,870 SF
Pavedrain Porous Pavers	28,420 SF
Rubber Sand for Playground	1,110 SF
6" - 4,000 psi - Private Walks w/ Premium Paint	4,065 SF
Public curbs, & curb cuts per Pueblo Std. Drawings	1,830 SF

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RADIUS NOTE:
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	Rubber Fall Protection for Playground (See Table 3, Sheet C3.0 for Quantities)

MATCH LINE (C3.1)

MATCH LINE (C3.2)

MATCH LINE (C3.5)

MATCH LINE (C3.5)

ACERO AVE.
66' ROW

BUILDING D2

PICNIC AREA

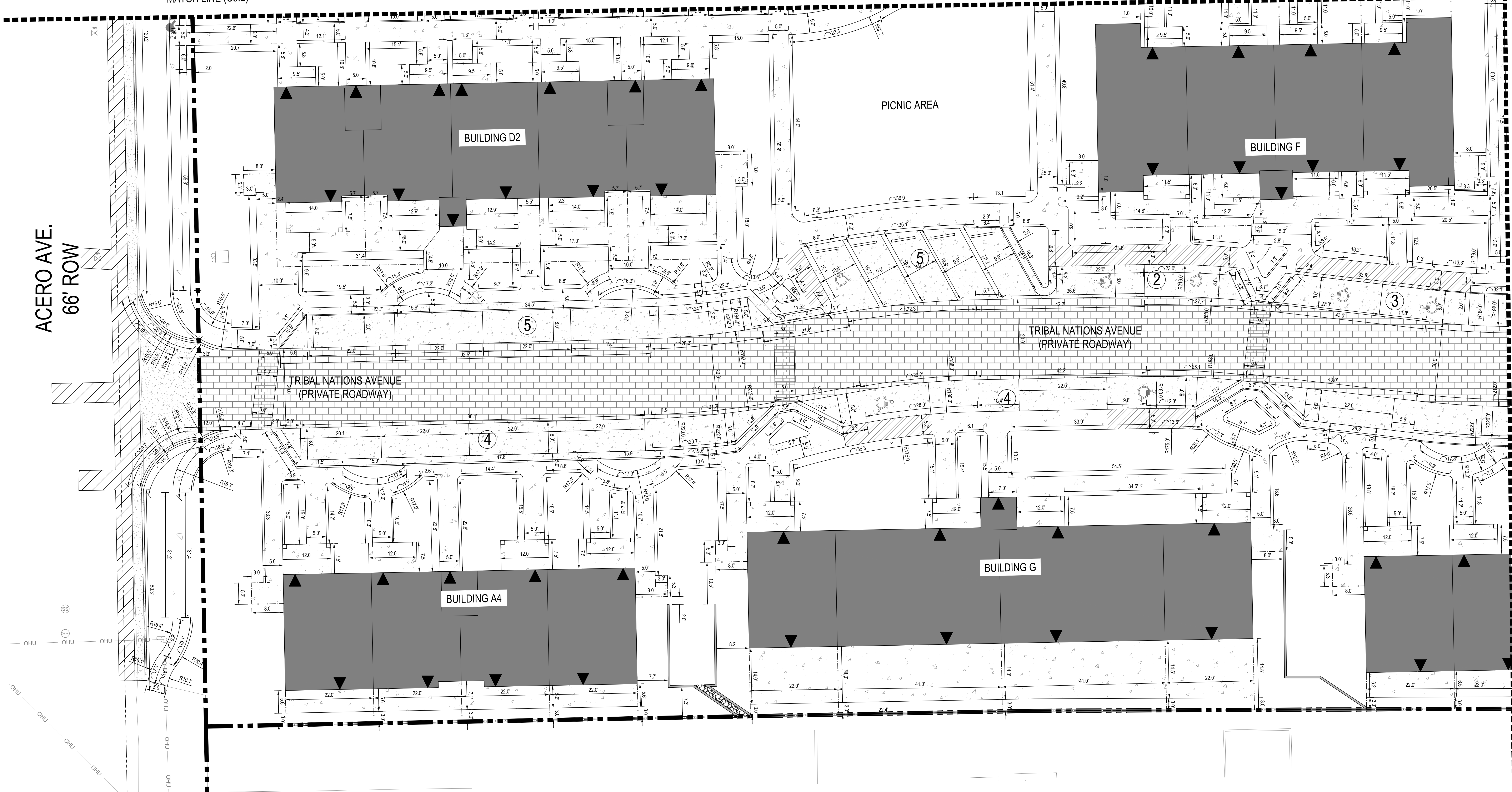
BUILDING F

TRIBAL NATIONS AVENUE
(PRIVATE ROADWAY)

TRIBAL NATIONS AVENUE
(PRIVATE ROADWAY)

BUILDING A4

BUILDING G



STRIPING NOTE:
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LEGEND

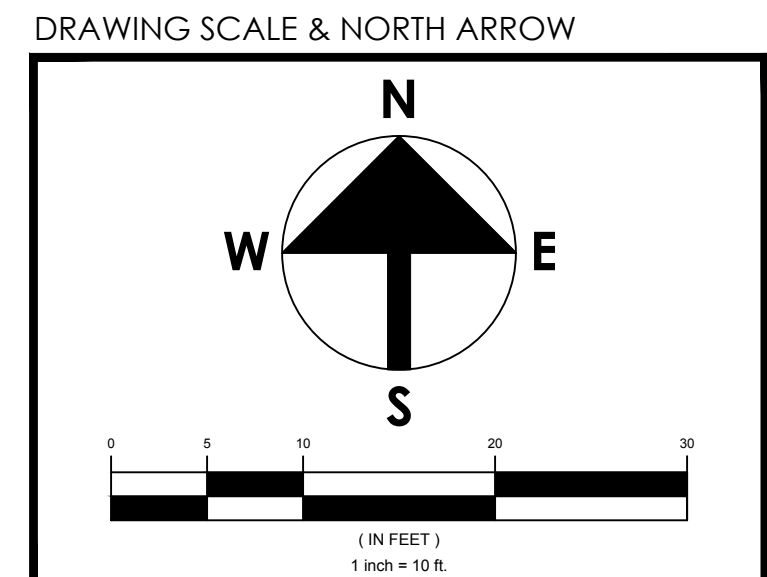
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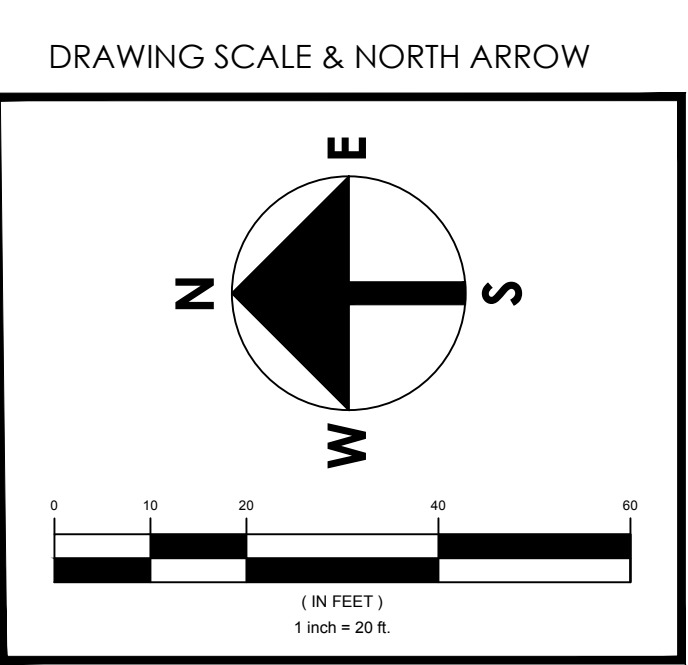
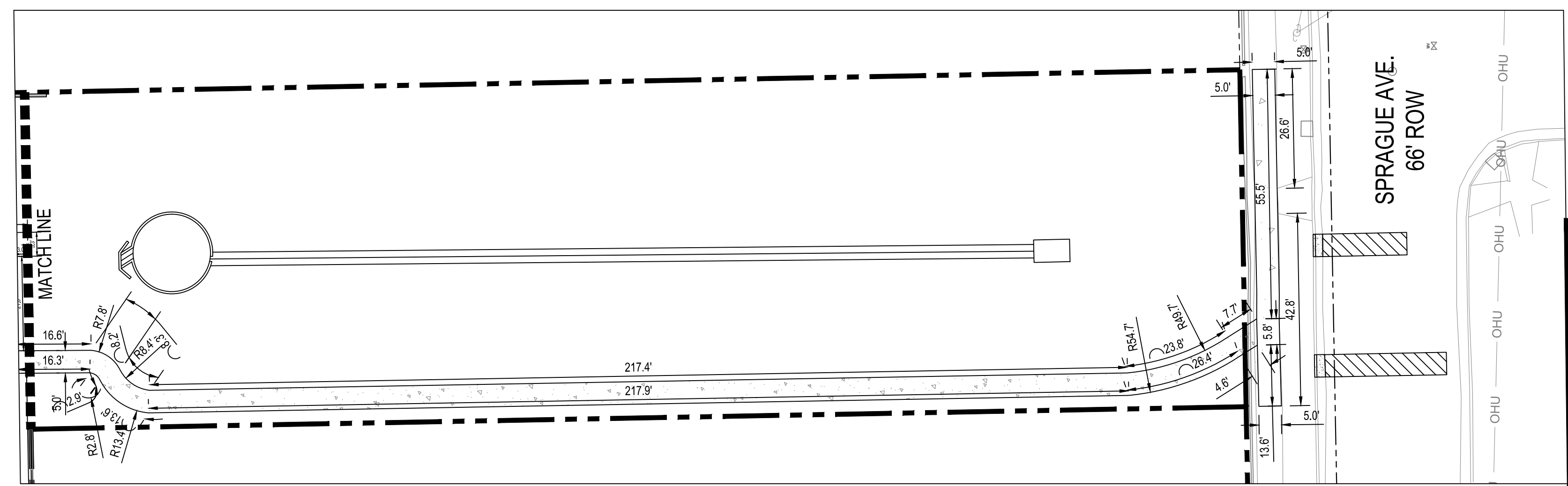
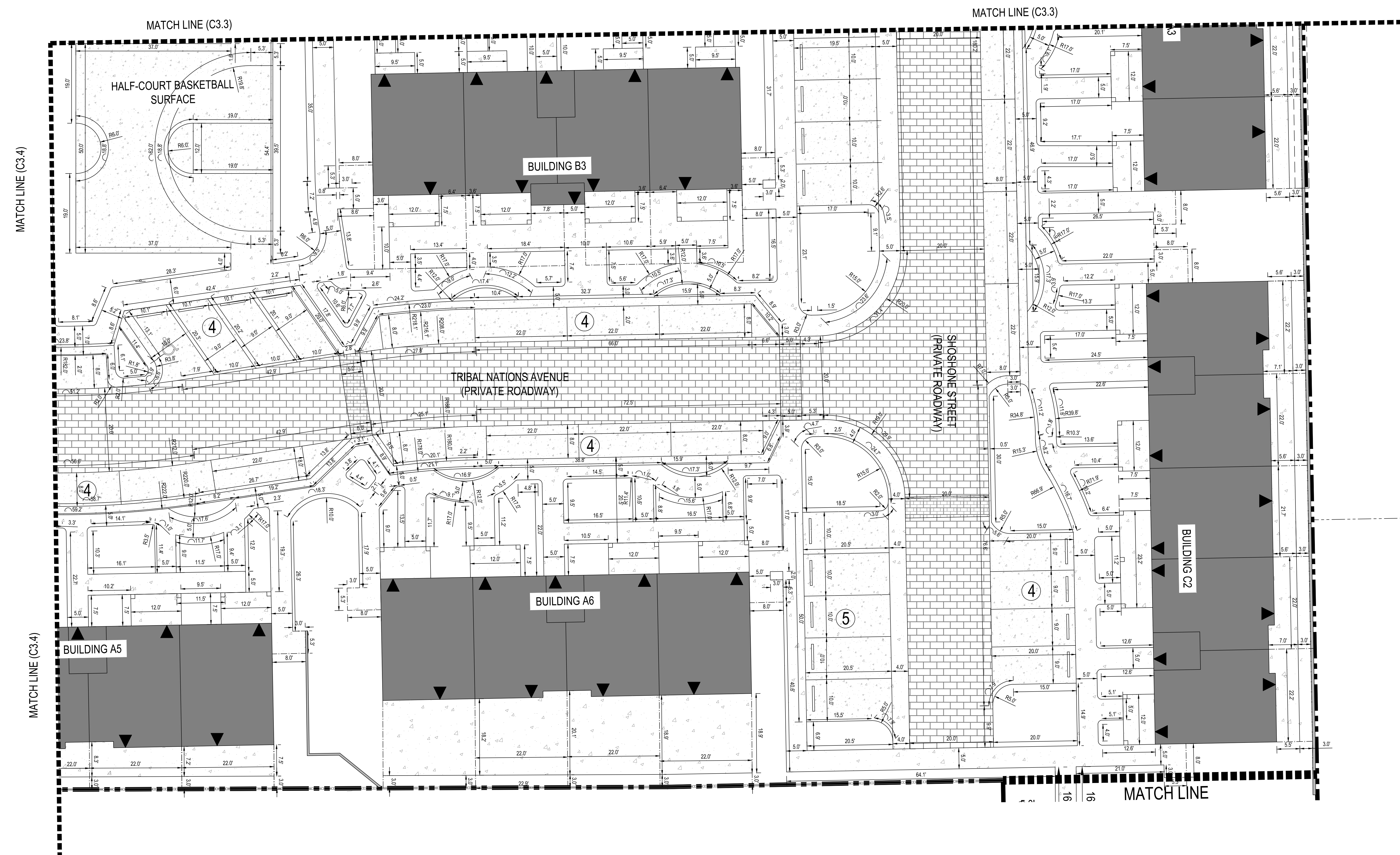
Upland Townhomes - Hardscape Quantities (TOTAL)

Material	Quantity
Concrete	
6" - 4,000 psi - Fibre Reinforced Parking	24,276 SF
4" - 3,500 psi - Private walks & patios	54,810 SF
Asphalt Street Patch	2,140 SF
Public walks per Pueblo Std. Drawings	1,870 SF
Pavedrain Porous Pavers	28,420 SF
Rubber Sand for Playground	1,110 SF
6" - 4,000 psi - Private Walks w/ Premium Paint	4,065 SF
Public curbs, & curb cuts per Pueblo Std. Drawings	1,830 SF

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- RADIUS NOTE:**
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- JOINING NOTE:**
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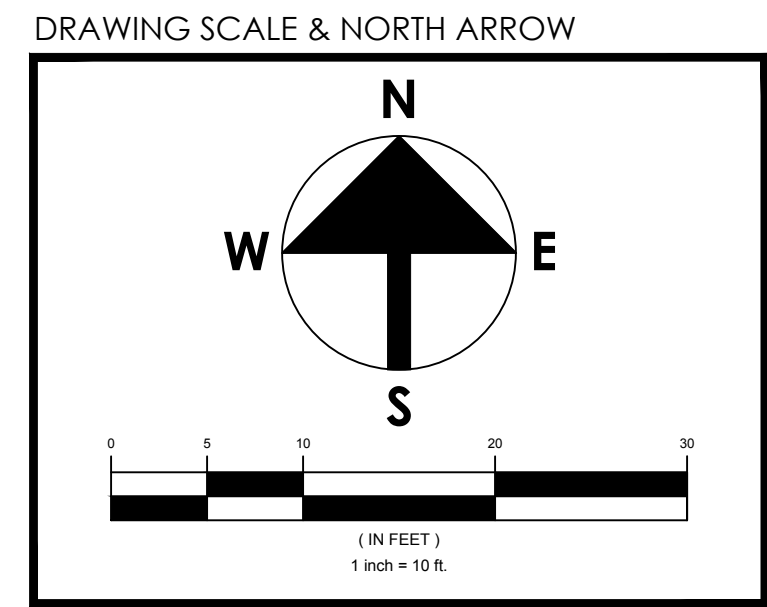


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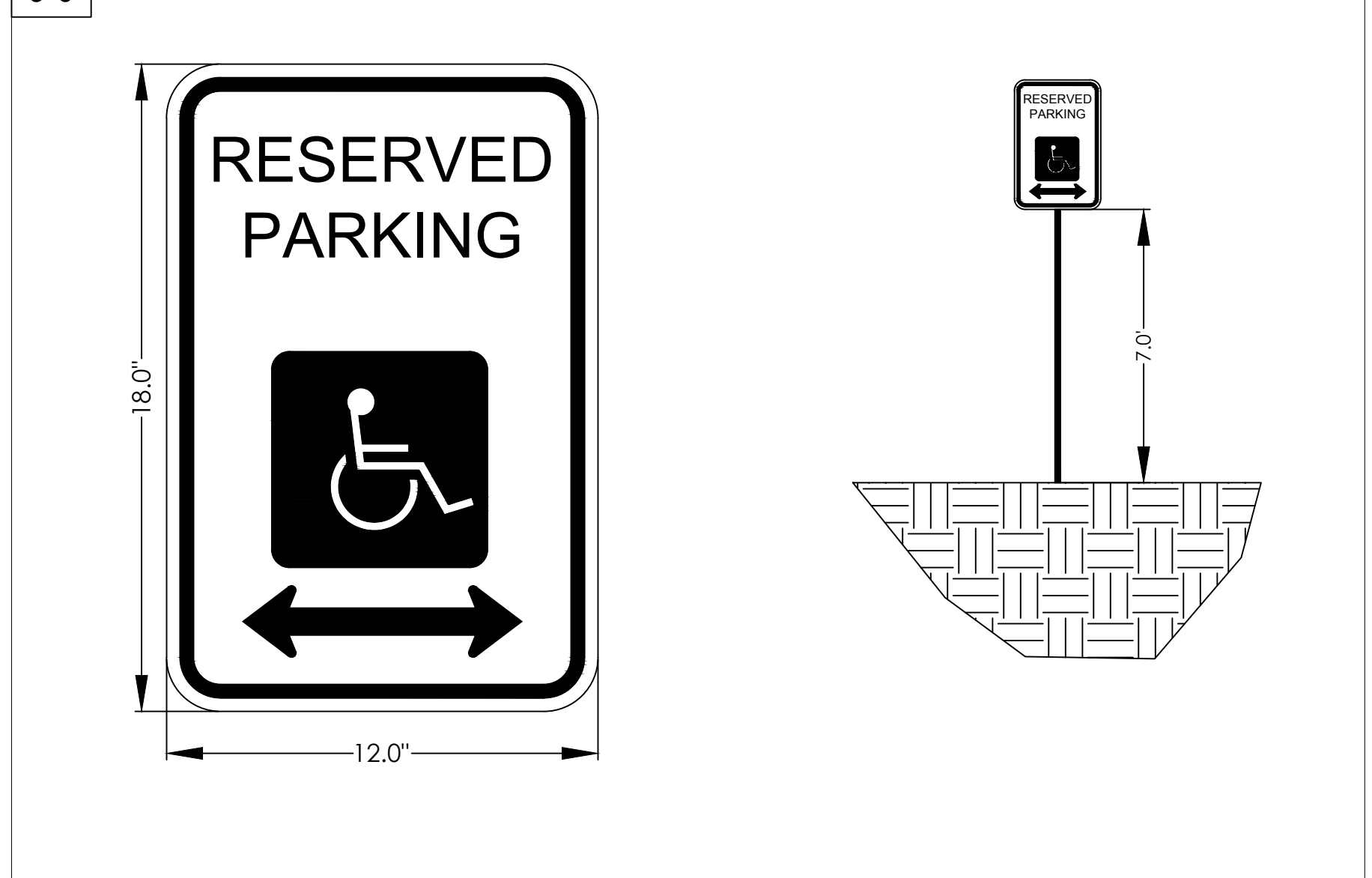
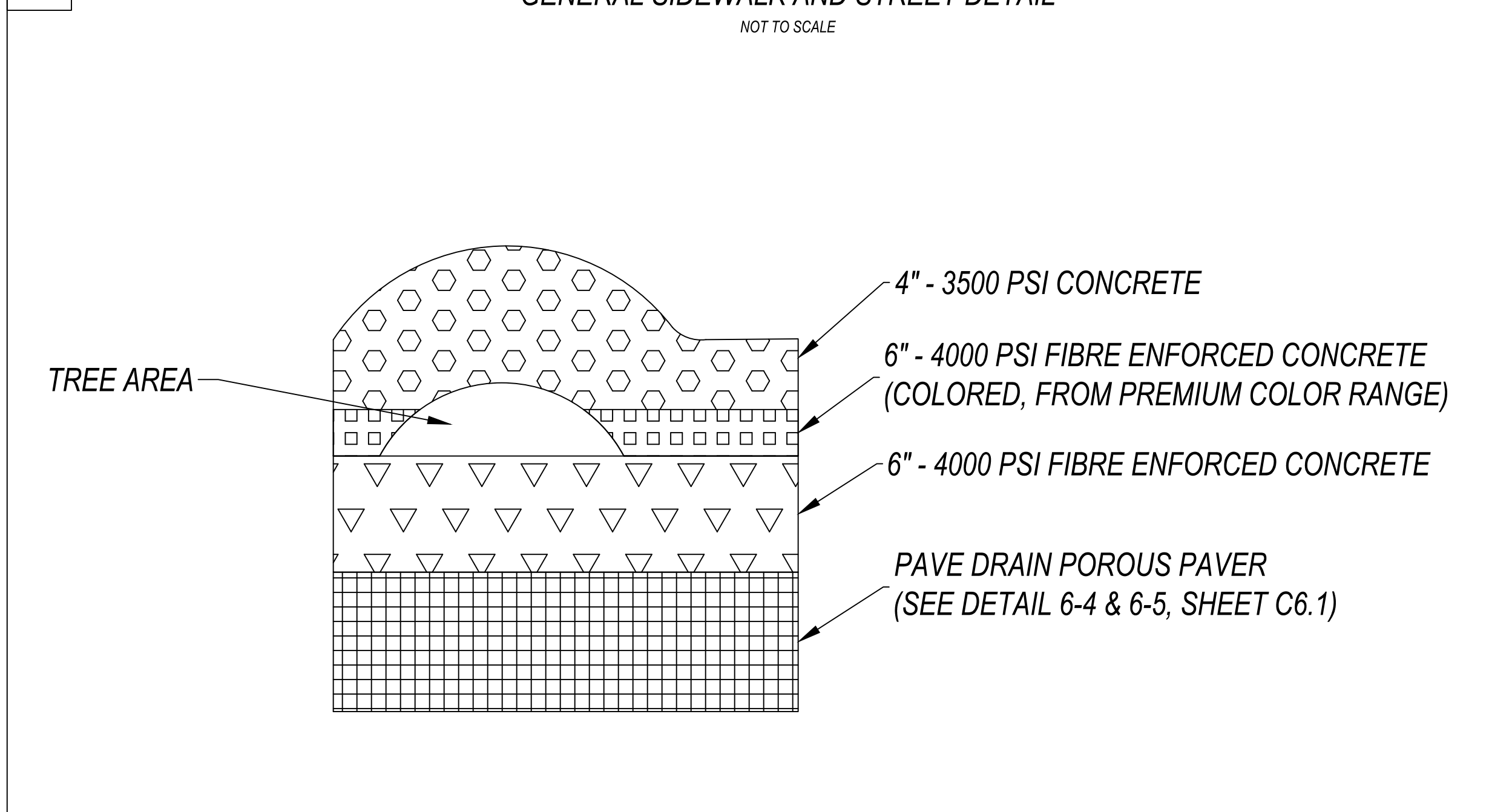
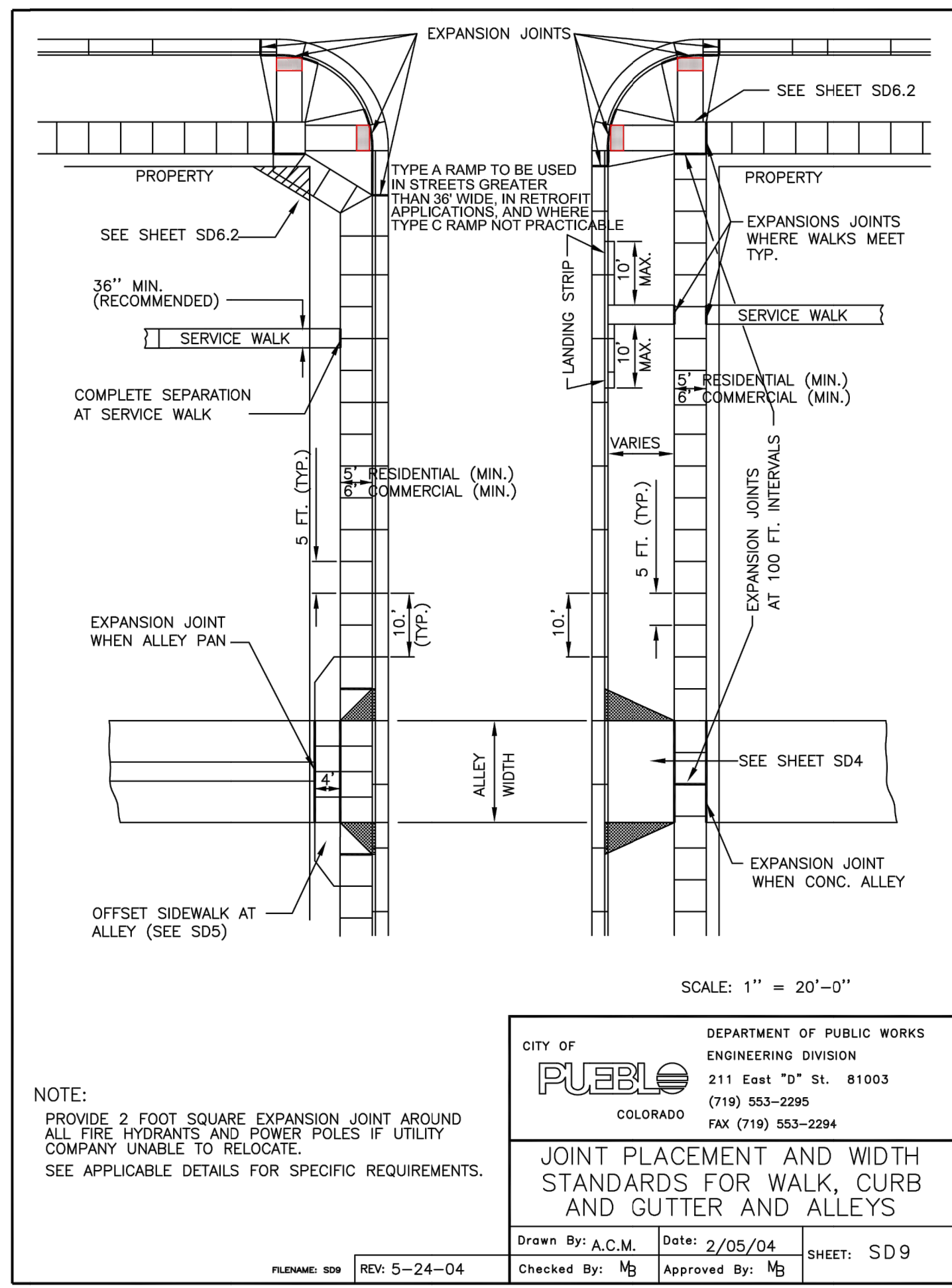
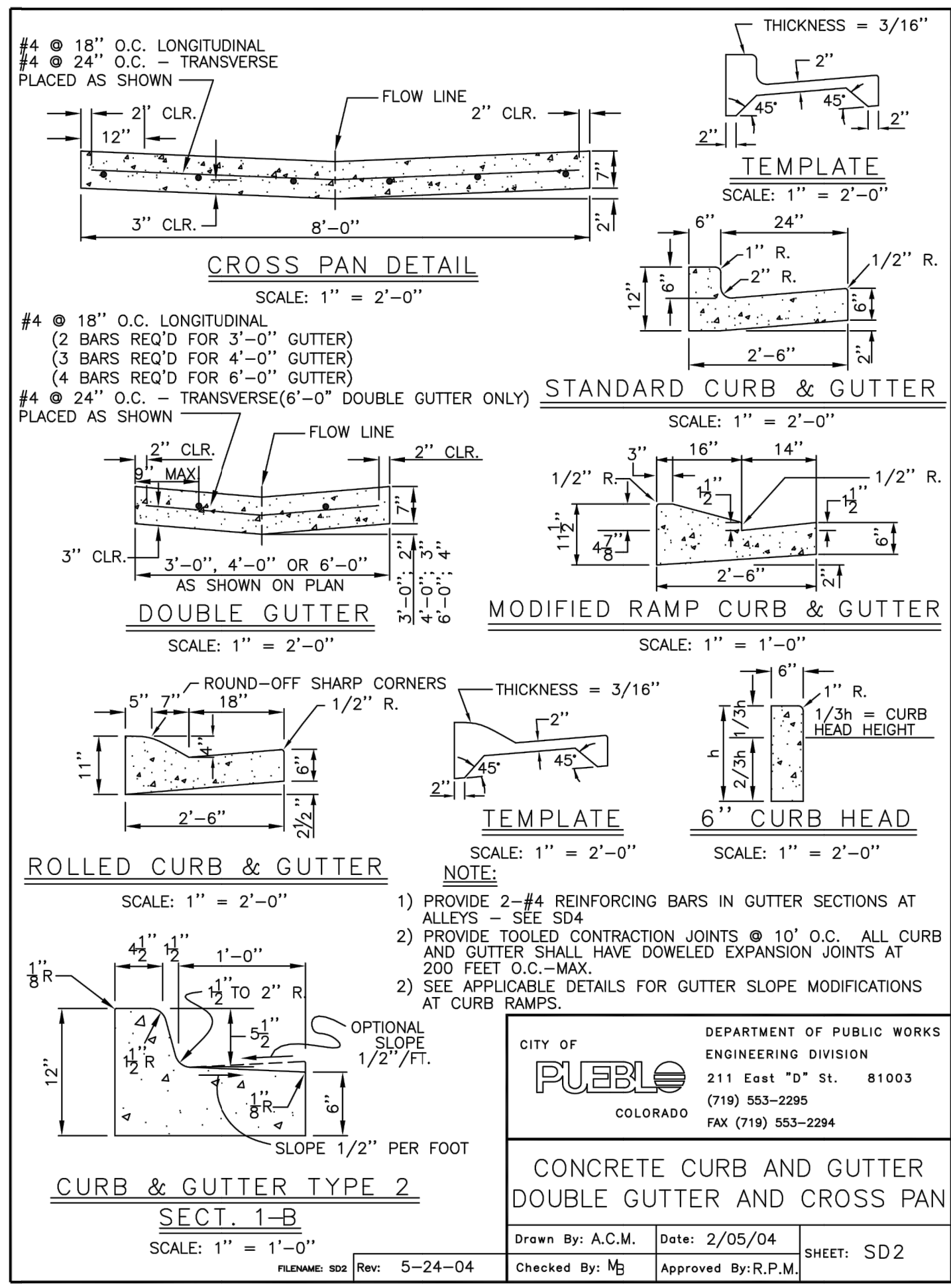
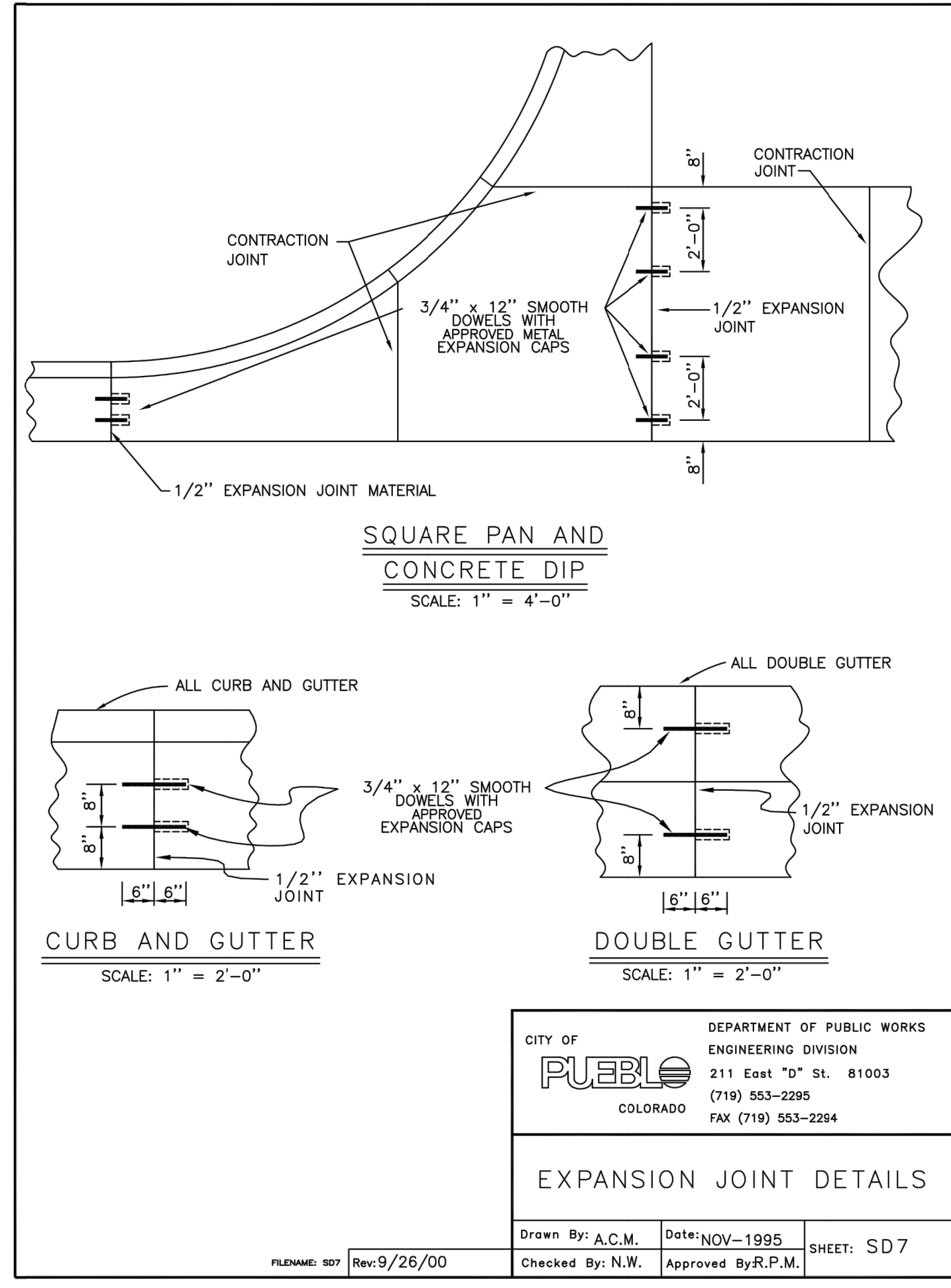
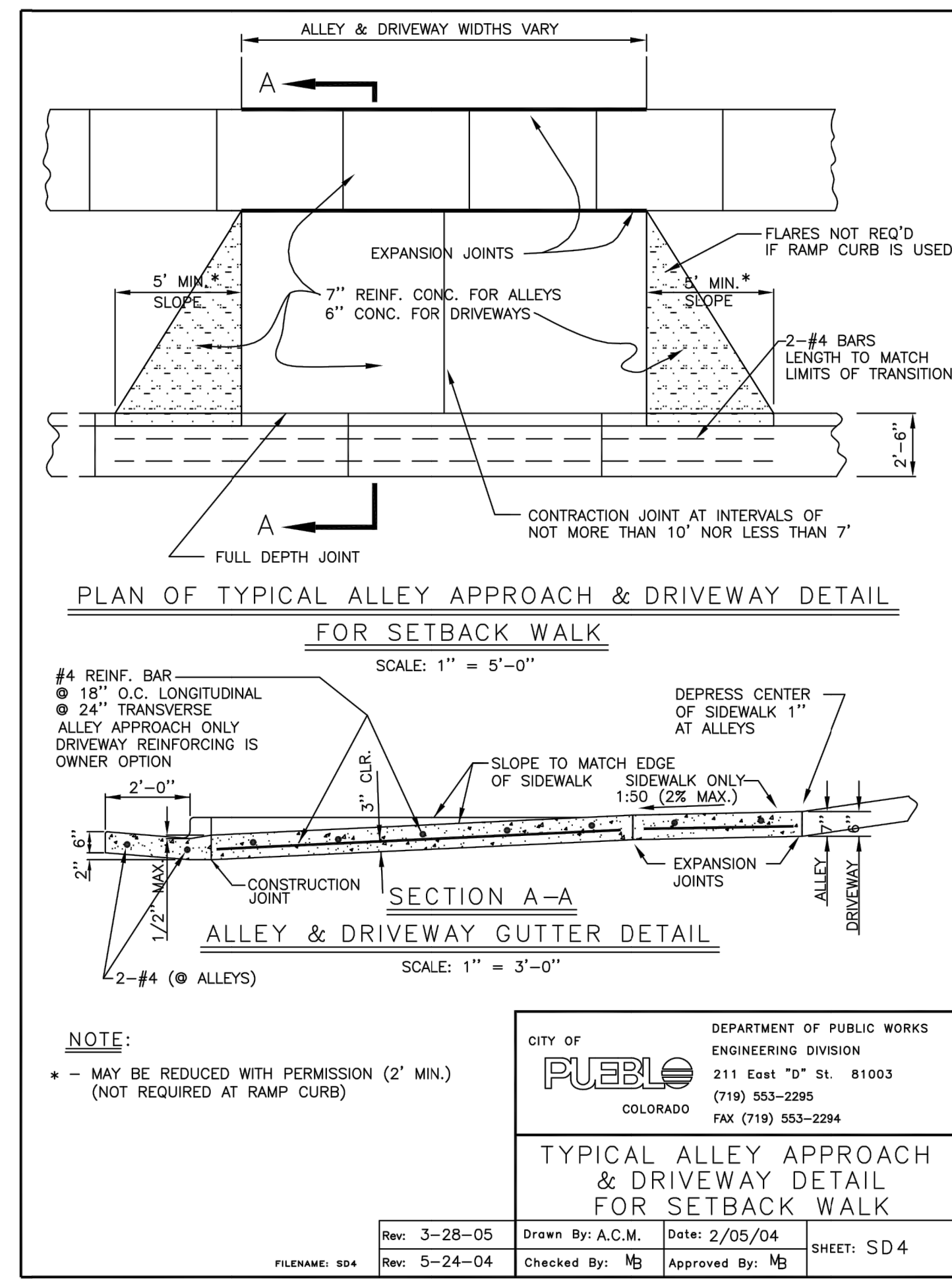


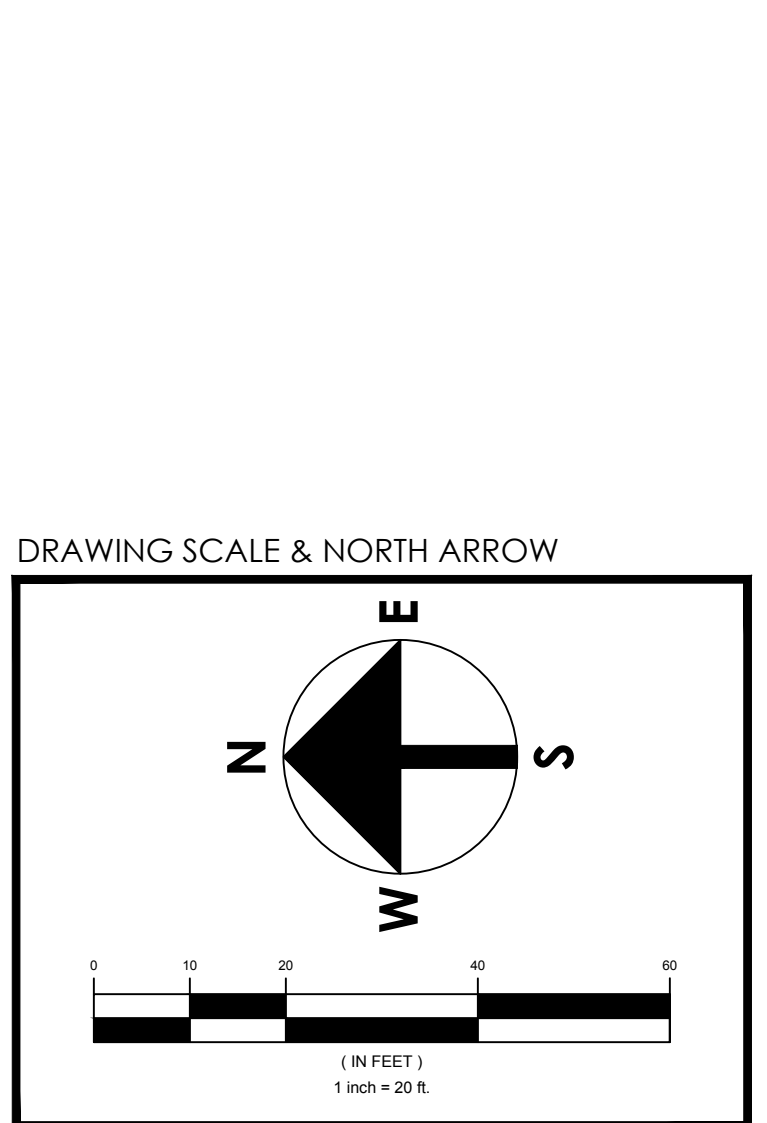
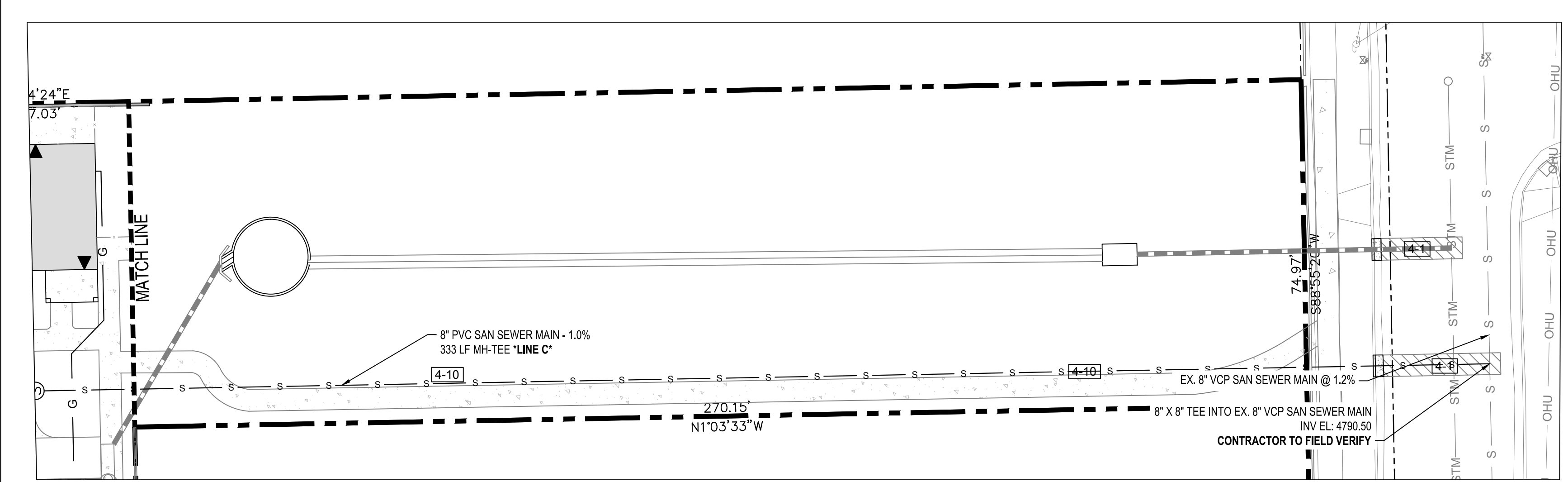
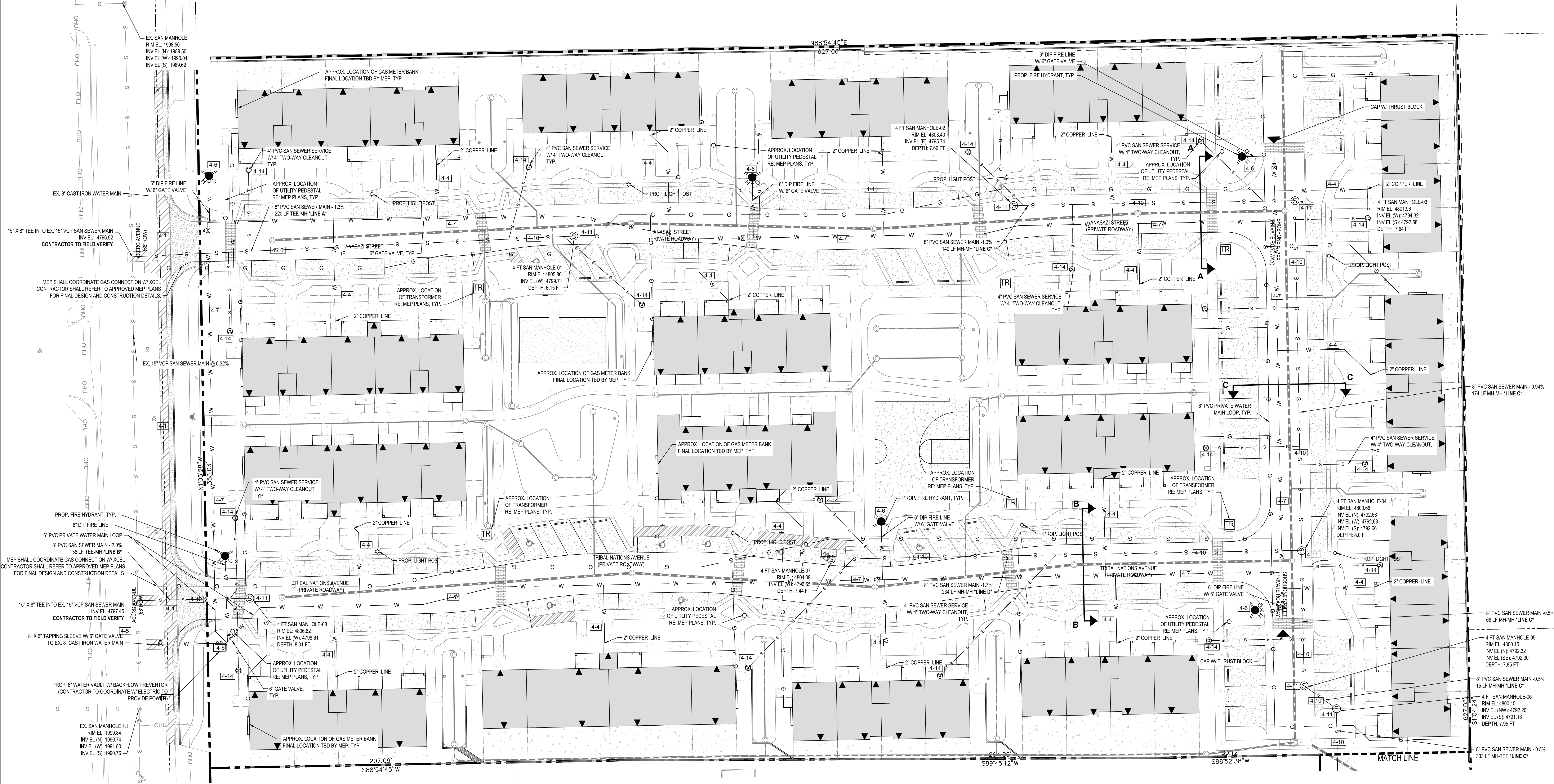
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LEGEND

	Property Line
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	Proposed Fence
	Parking Space Count
	6" - 4000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)
	4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
	Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
	Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
	Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
	Pavedrain Porous Pavers (See Table 3, Sheet C3.0 for Quantities)
	Rubber Fall Protection for Playground (See Table 3, Sheet C3.0 for Quantities)





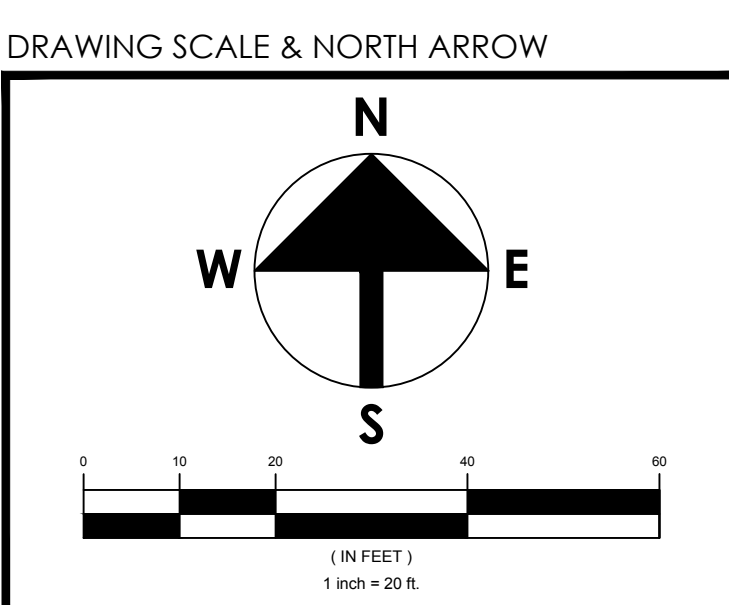
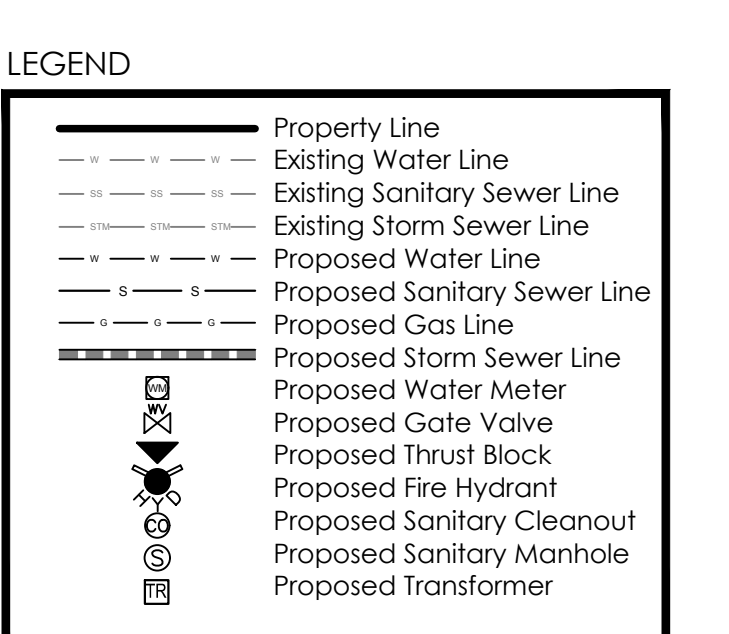
- DETAIL KEY (SEE SHEET C4.1):**
- 4-1 ASPHALT SAW CUT
 - 4-2 TAP HOLE SPEC. 1" & 1.5" TAP HOLES
 - 4-3 TAP HOLE SPEC. 4" & LARGER TAP HOLES
 - 4-4 WATER SERVICE LINE INSTALLATION
 - 4-5 TAPPING SLEEVE AND VALVE
 - 4-6 FIRE HYDRANT INSTALLATION
 - 4-7 COPPER TRACE WIRE
 - 4-8 POLYETHYLENE WRAP
 - 4-9 PUEBLO VALVE BOX
 - 4-10 SANITARY SEWER TRENCH DETAIL
 - 4-11 SANITARY SEWER MANHOLE DETAILS
 - 4-12 MANHOLE & INLET RING & COVER DETAILS
 - 4-13 SEWER DETAILS
 - 4-14 SANITARY SEWER MAIN CLEANOUT

Table 4
Upland Townhomes - Utility Quantities (TOTAL)

Material	Quantity
Sanitary Sewer	
8" PVC Main Line	1,240 LF
4 ft Sanitary Manhole	8
4" PVC Service Line	741 LF
4" PVC Two-way Cleanout	17
Water	
6" Water main	1,545 LF
6" Gate Valves	6
2" Copper Fire line	711 LF
Cap & Thrust Block	2
6" DIP Fire Line	118 LF
Fire Hydrant	6
6"x2" Tap	17
8"x6" Tapping Sleeve & Gate	1

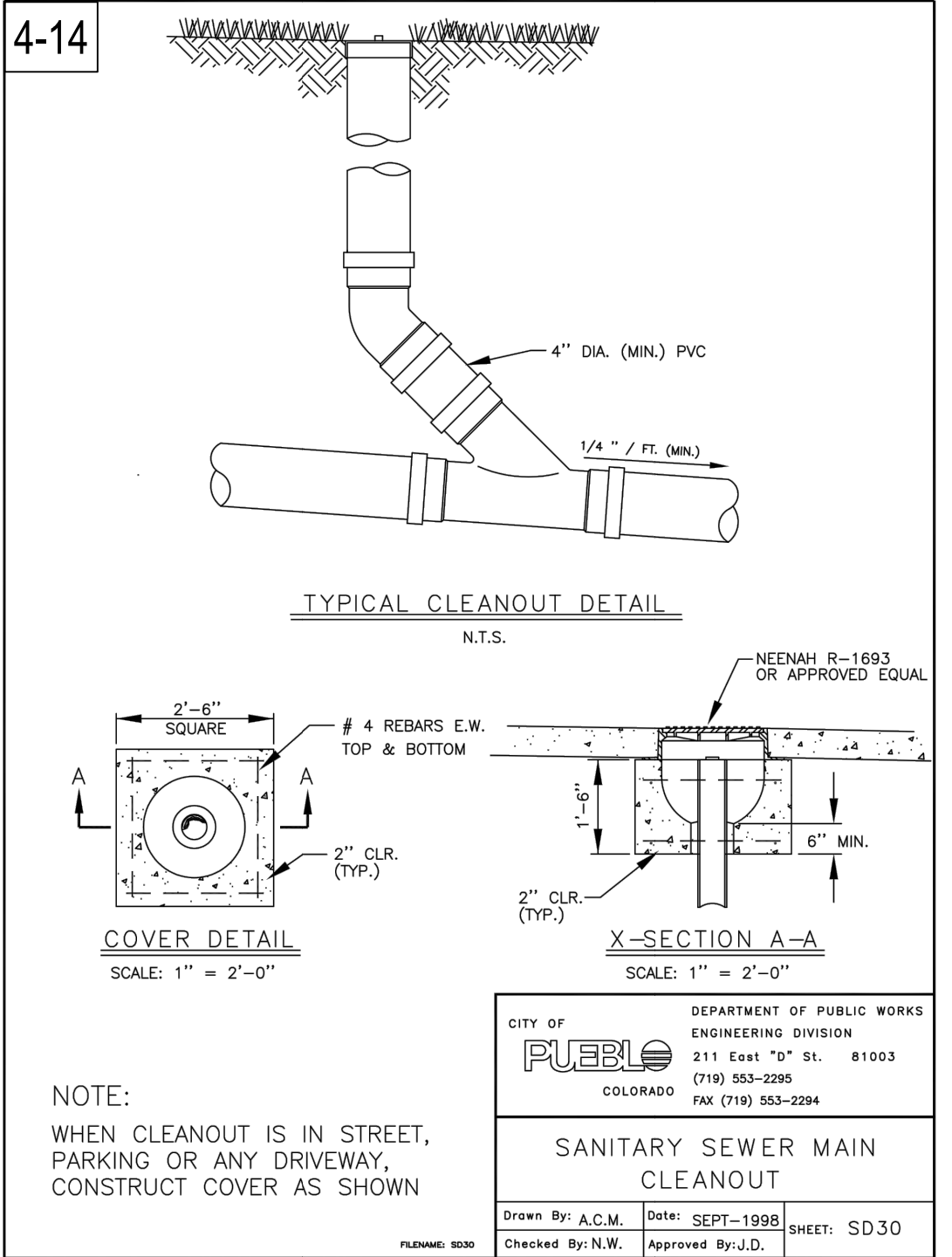
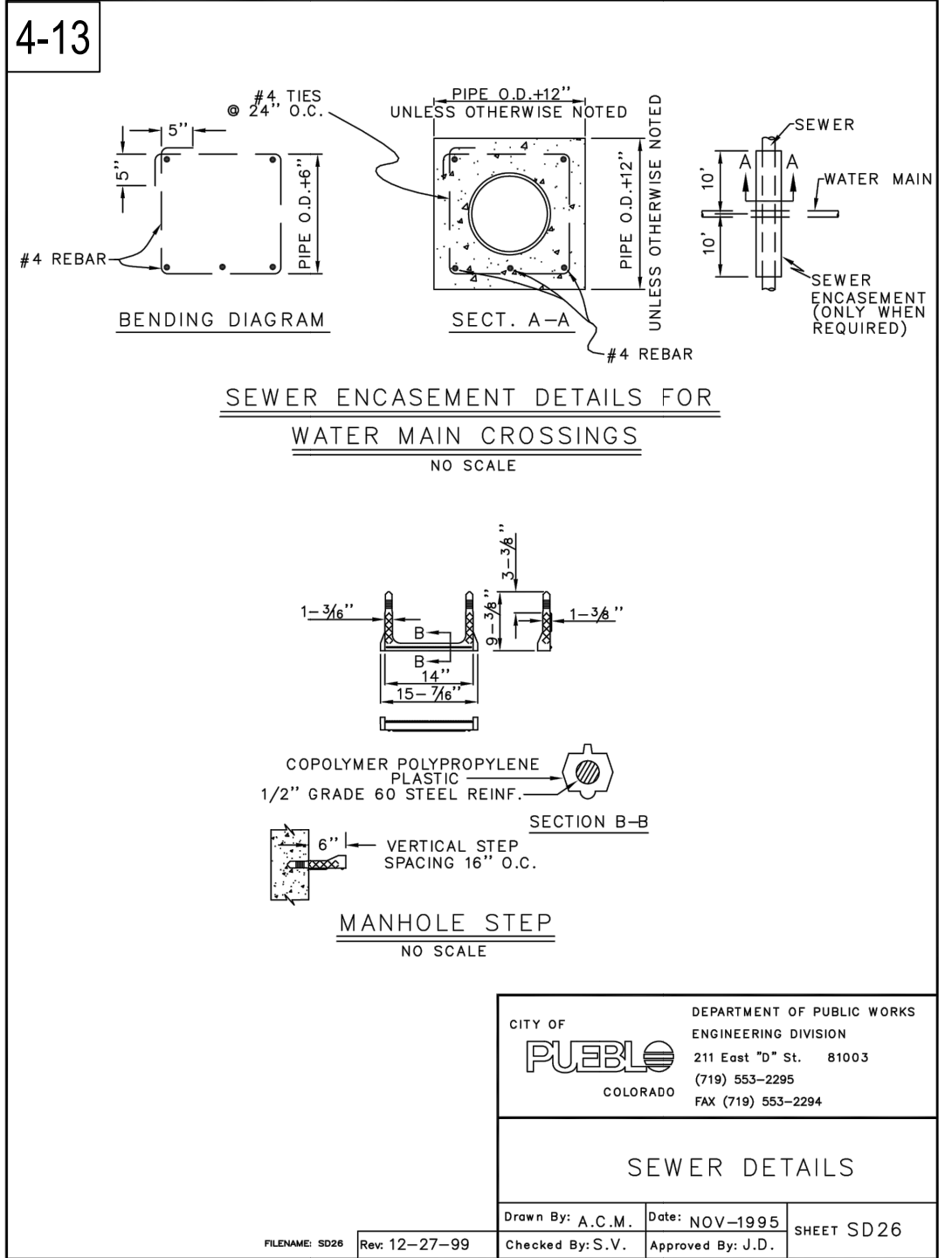
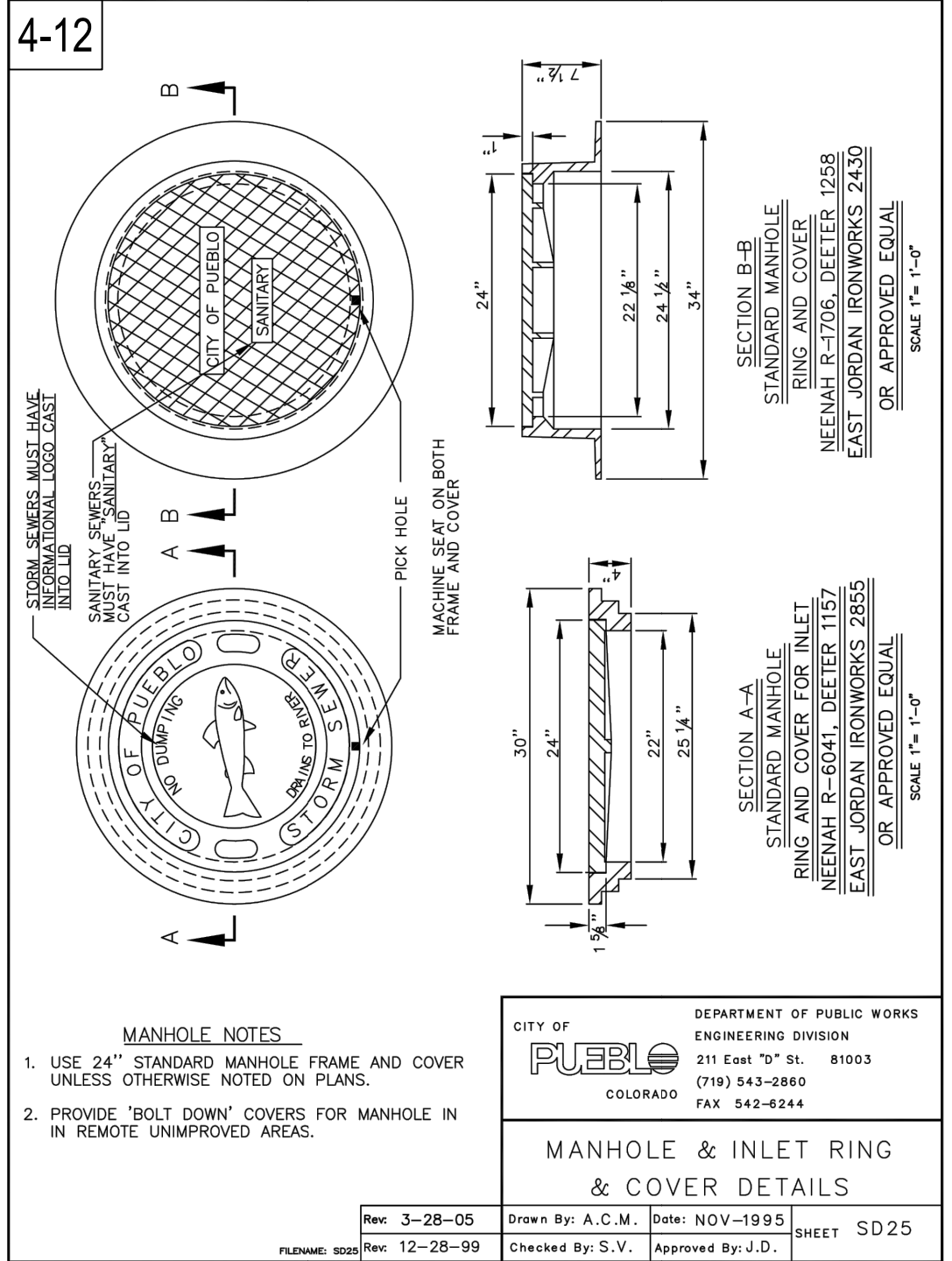
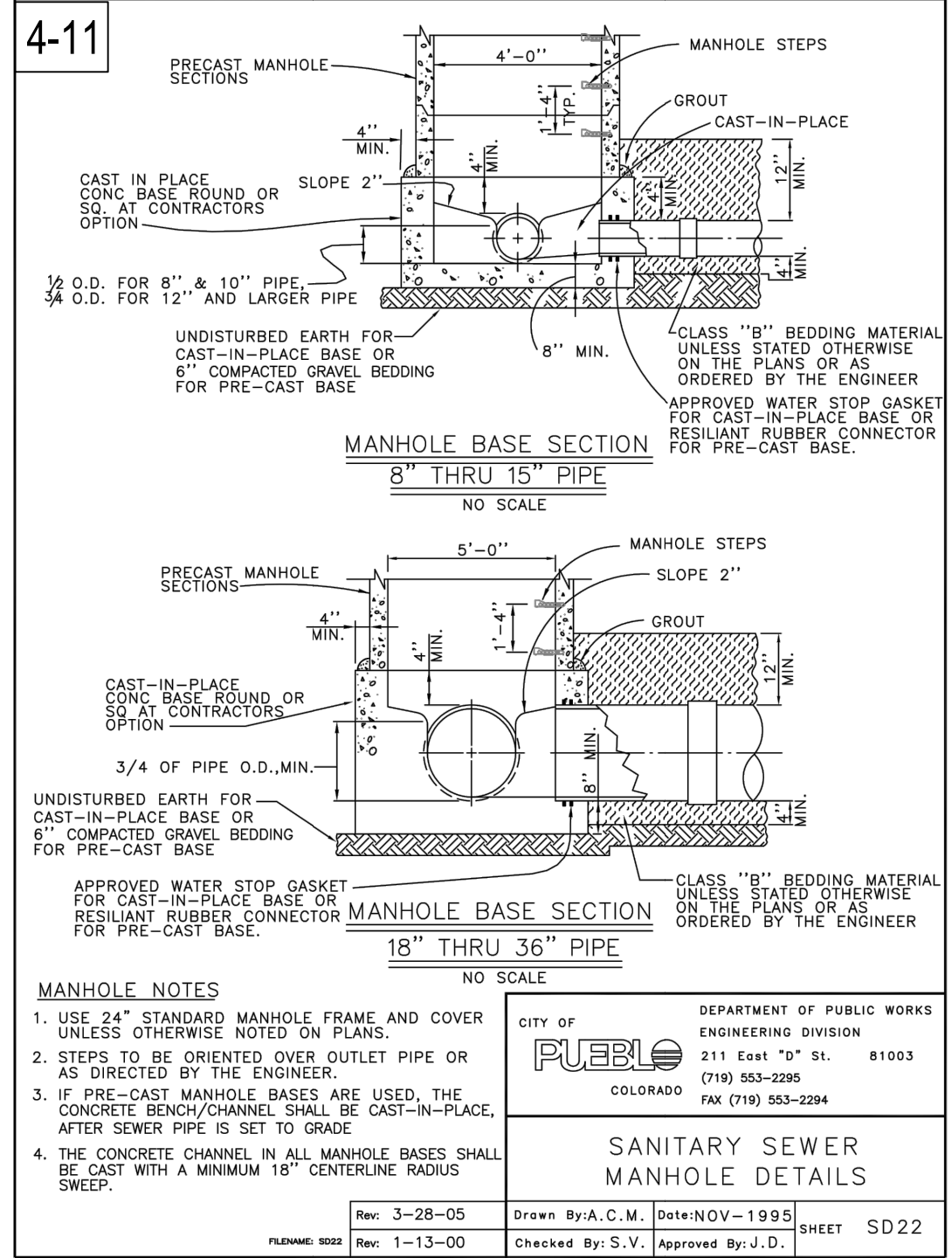
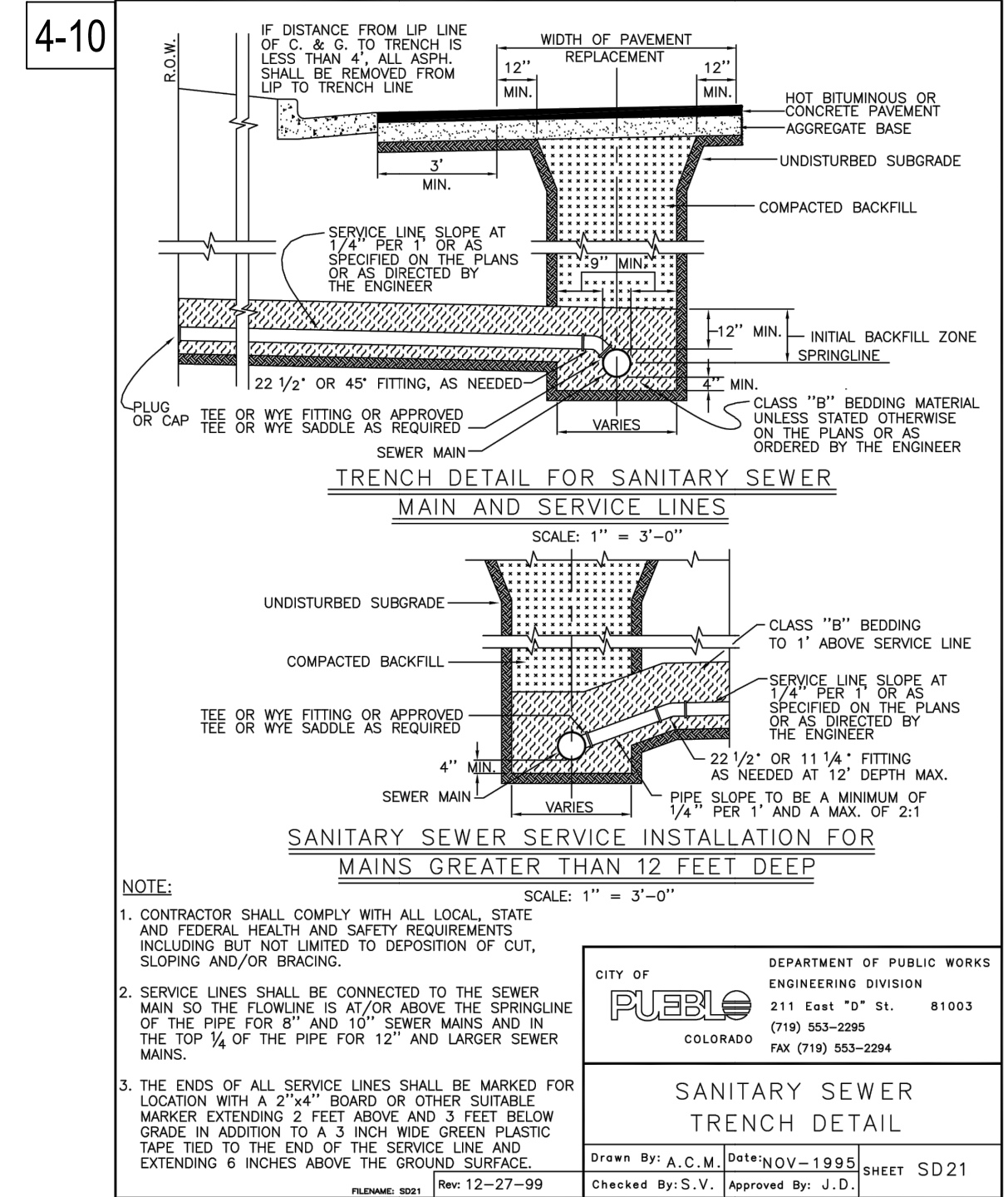
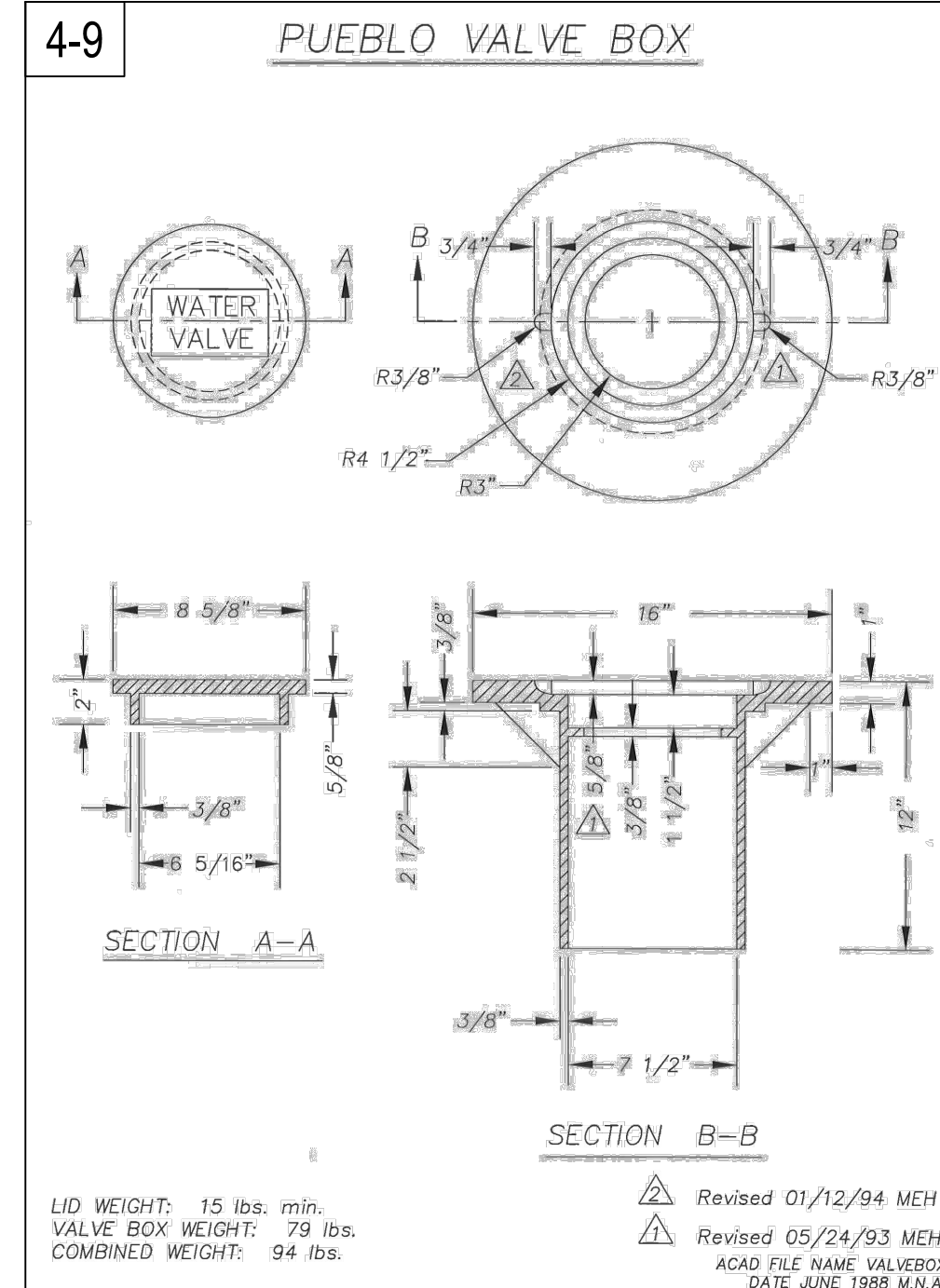
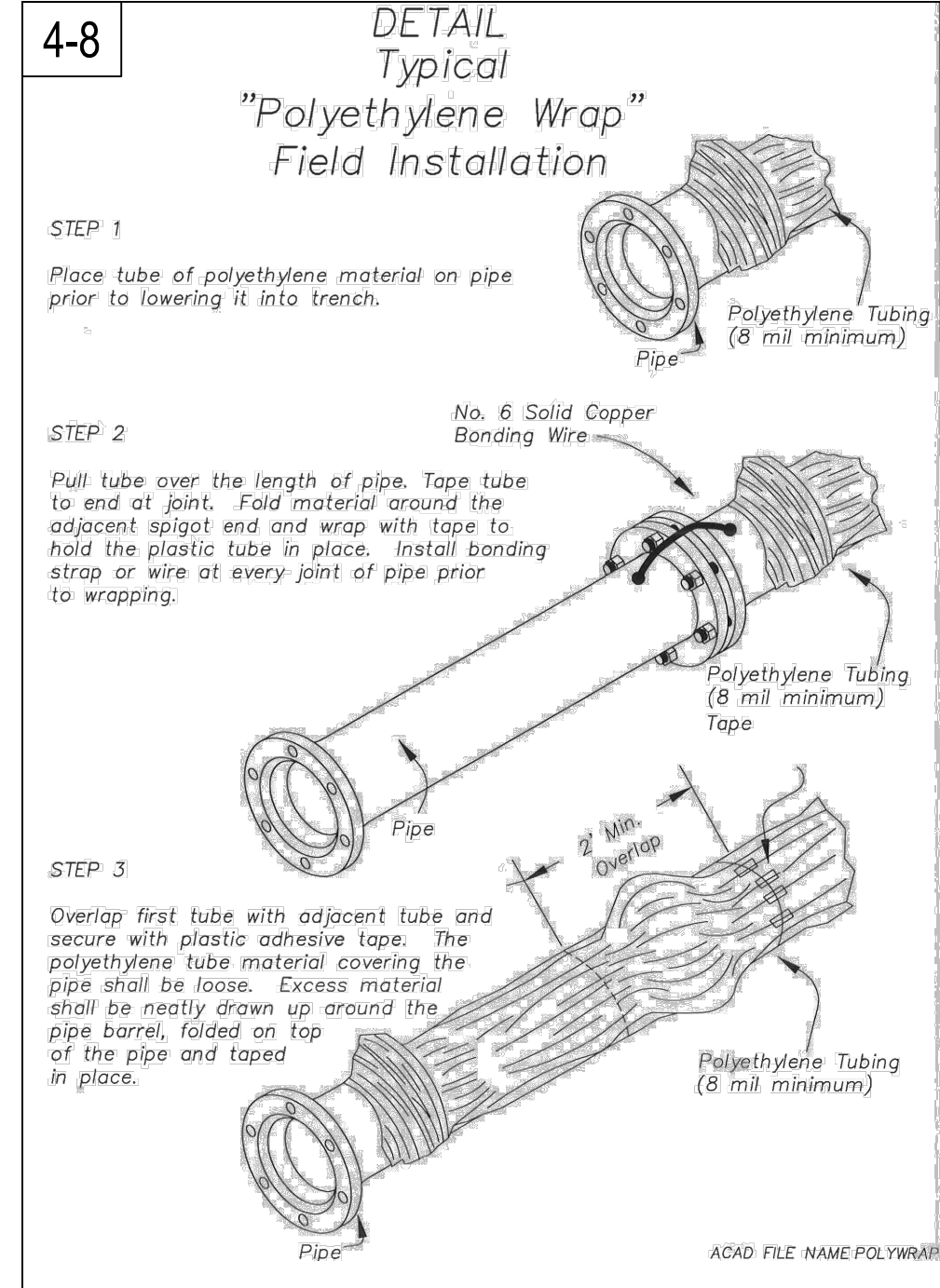
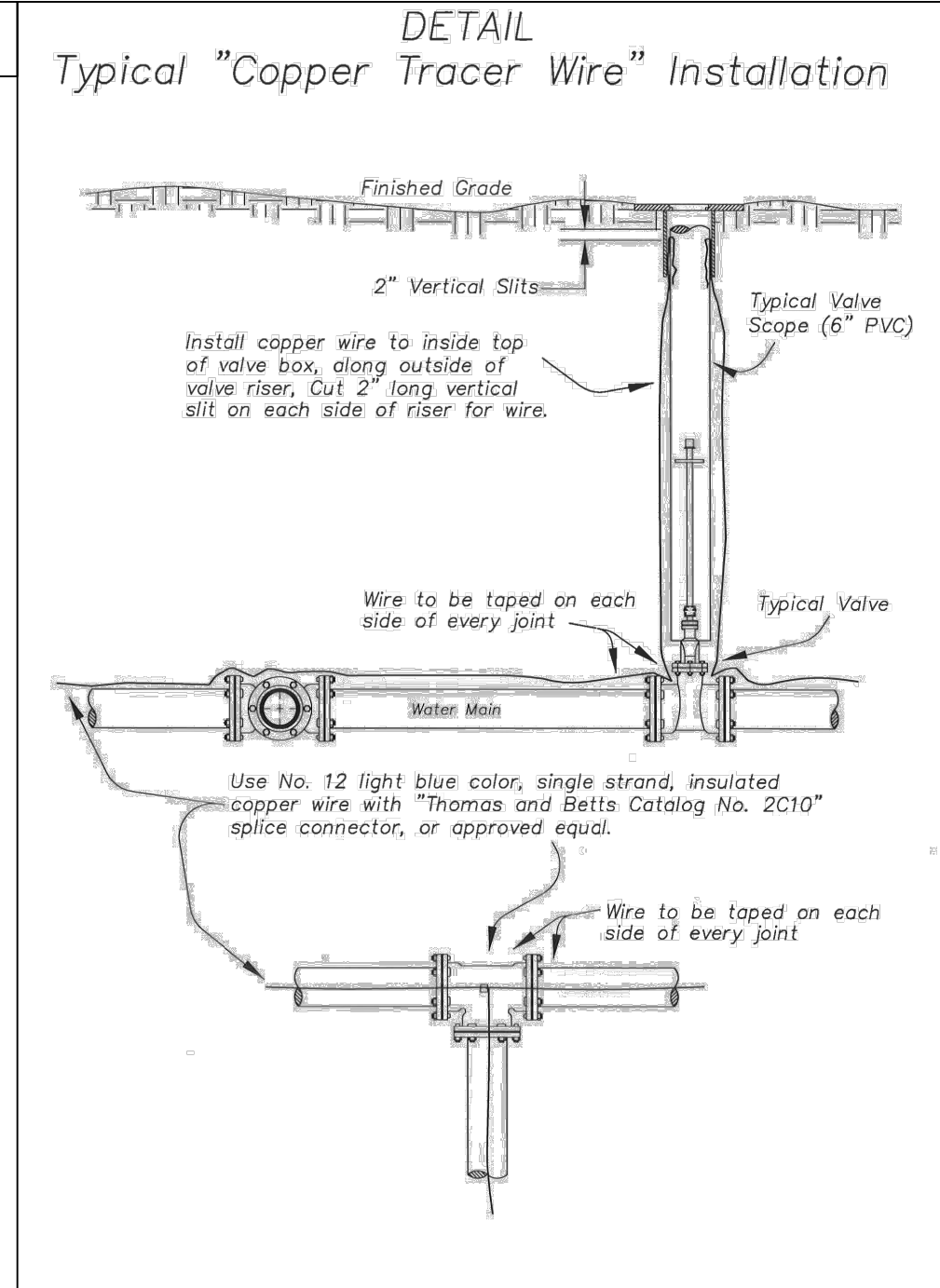
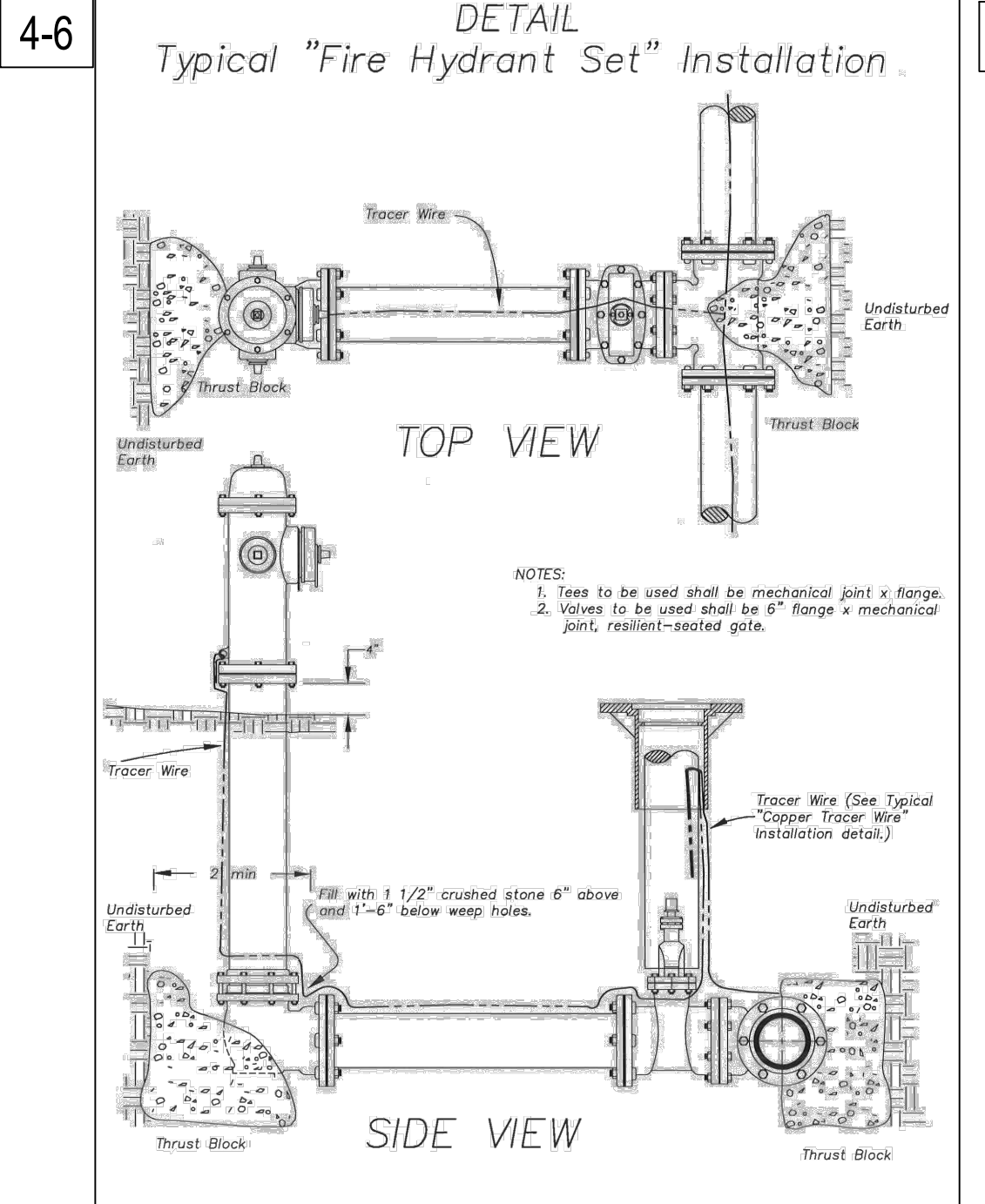
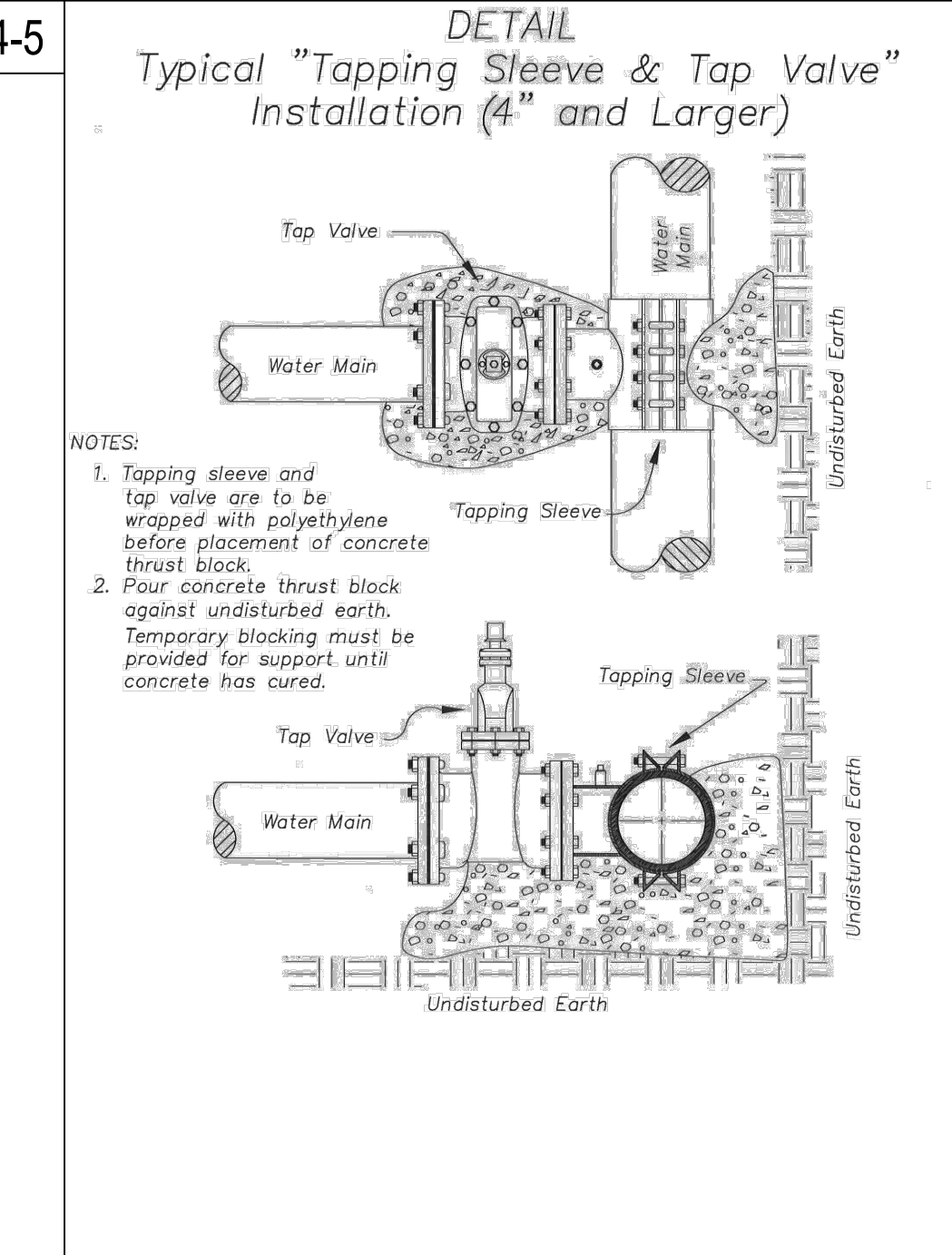
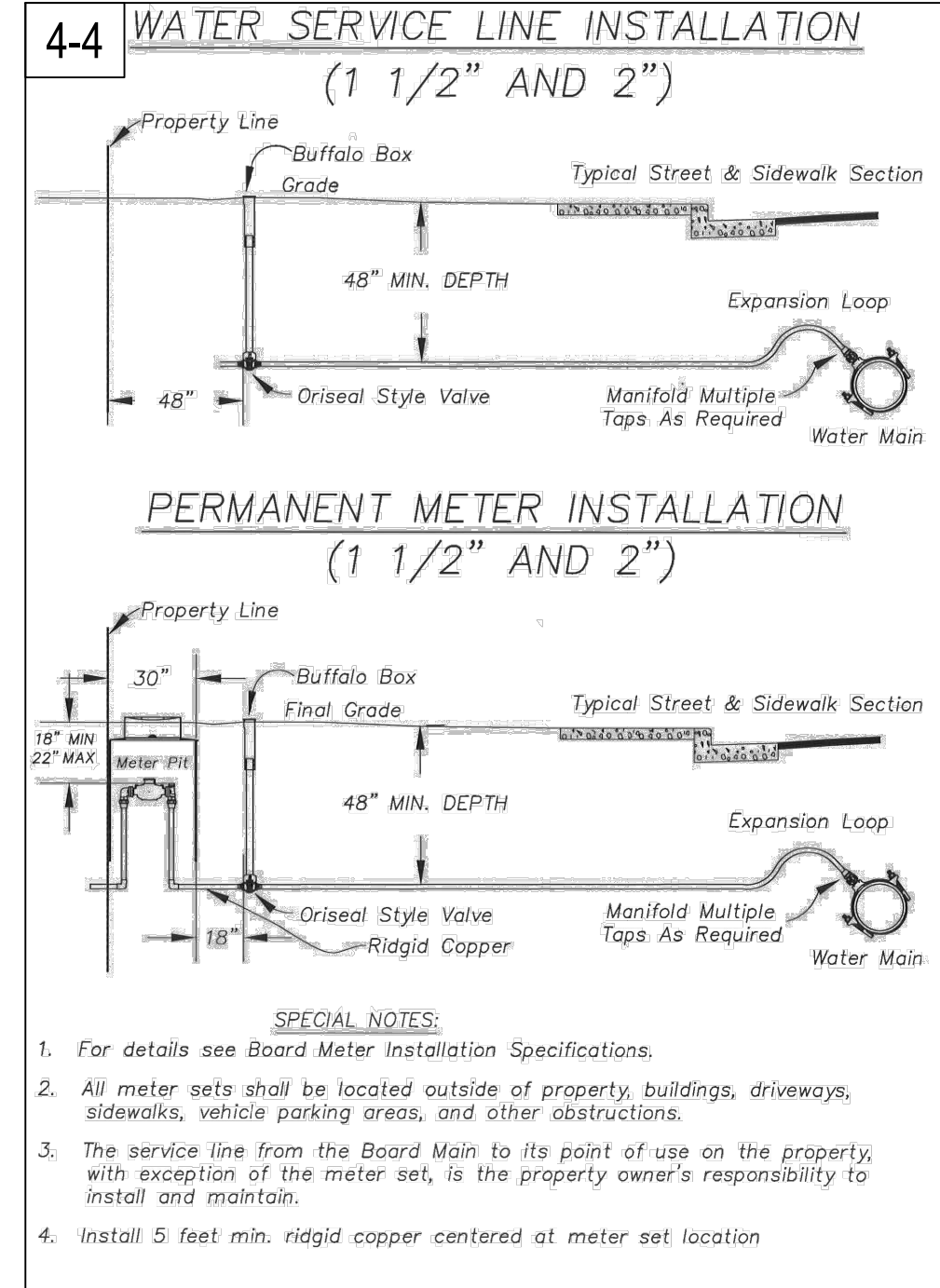
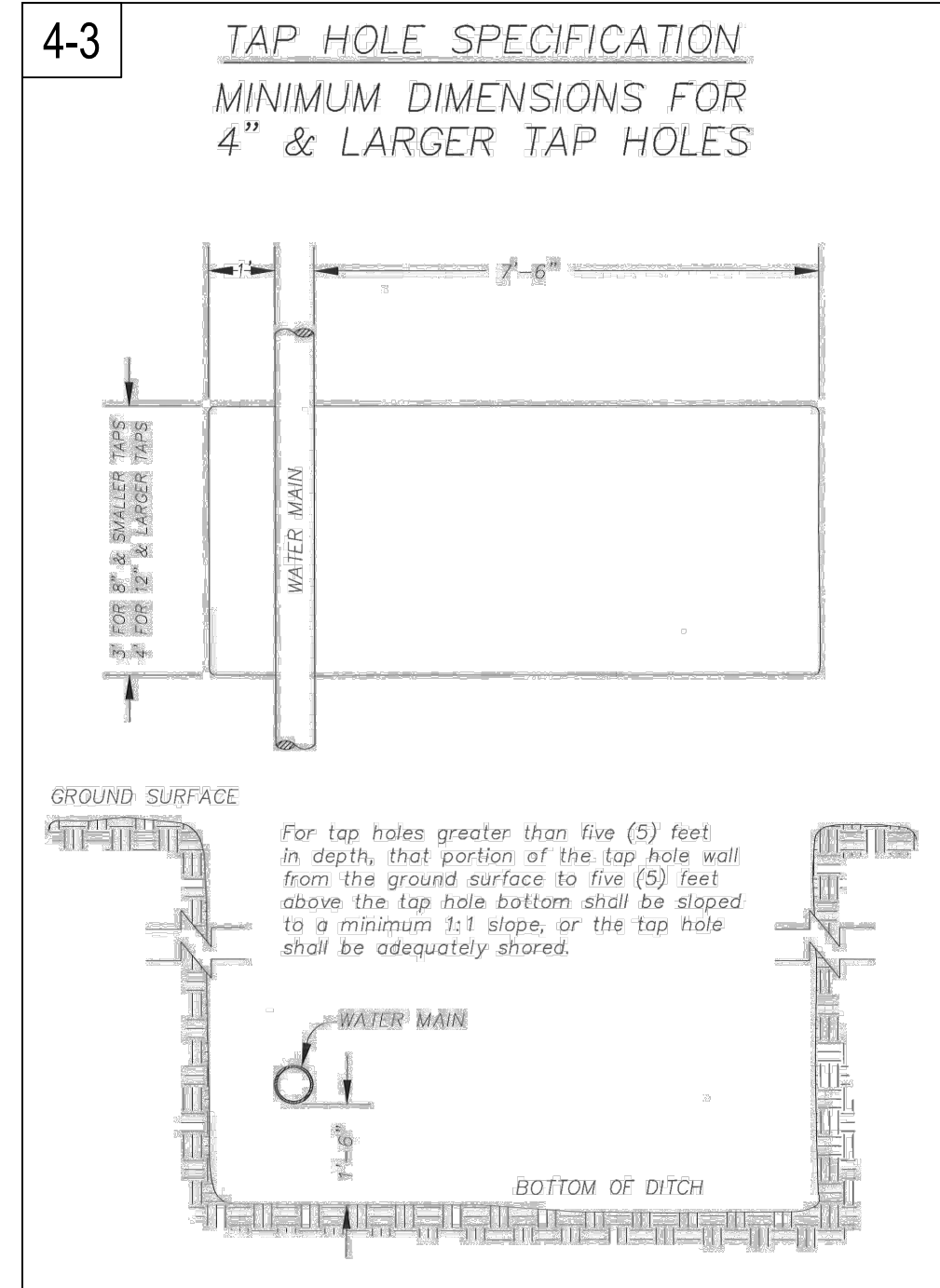
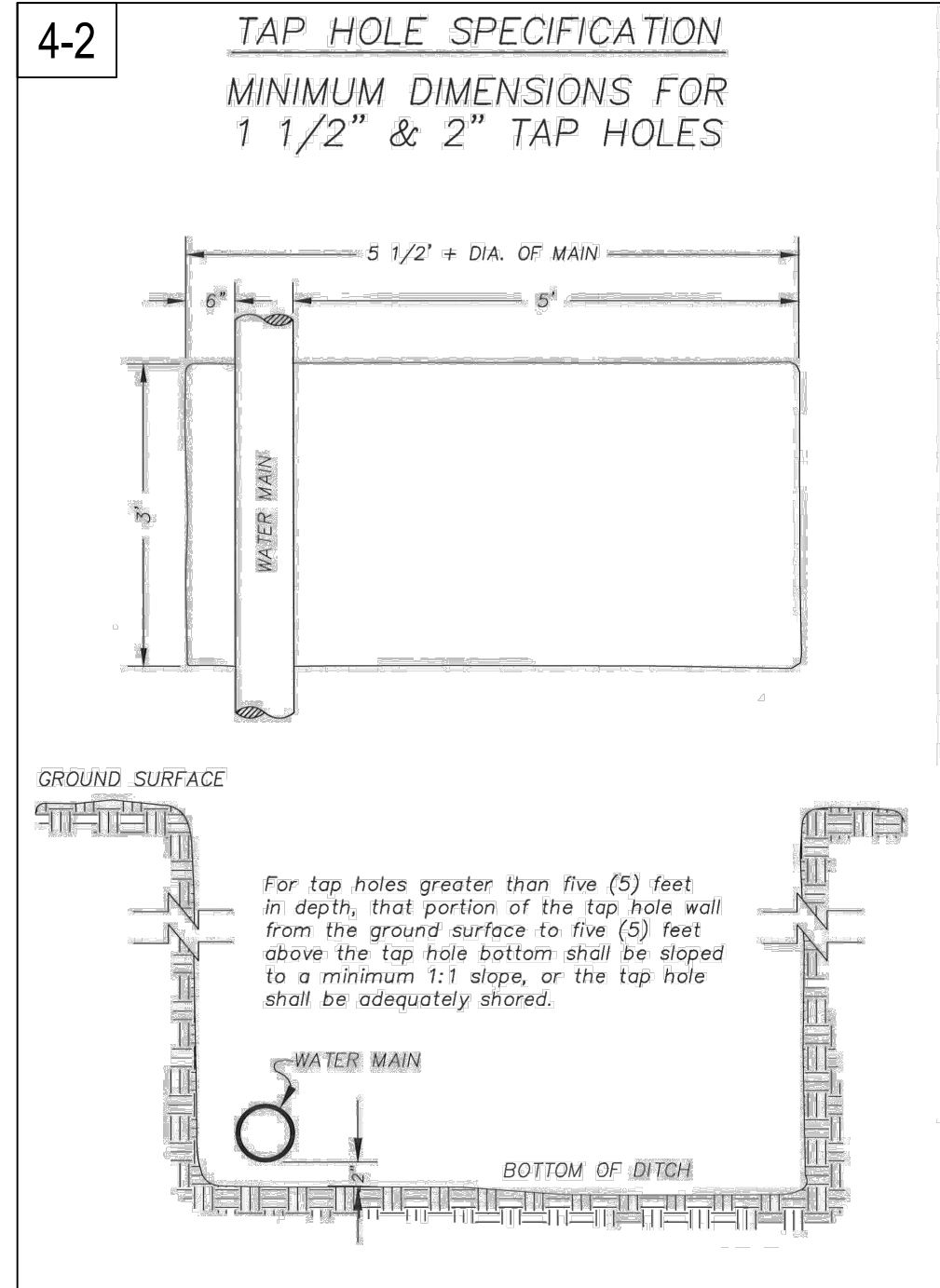
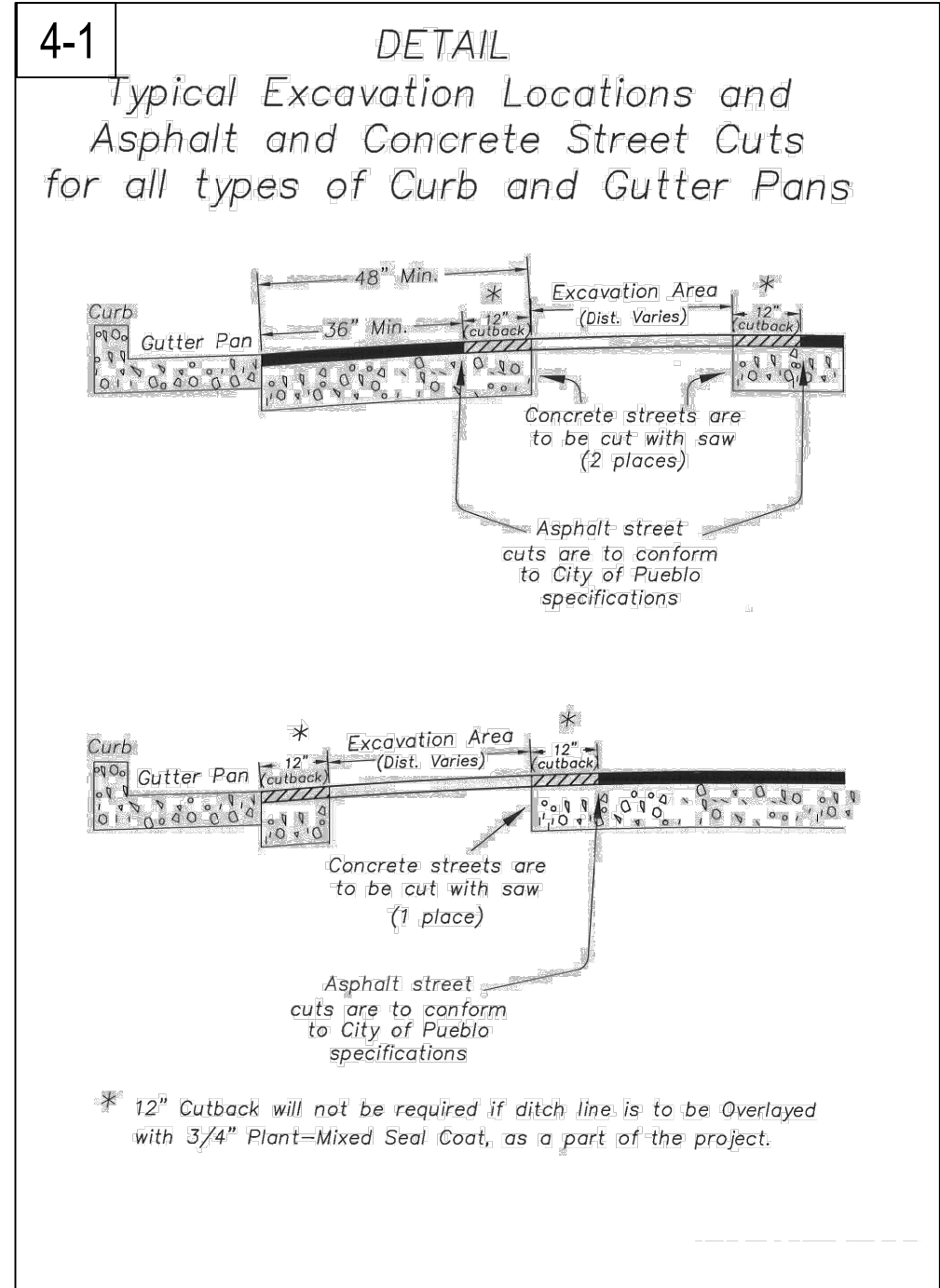
*Note: Service line quantities do not account for the additional pipe to carry lines into buildings. The above quantities have been provided as a courtesy, it shall be the responsibility of the contractor to confirm quantities.

- UTILITY NOTES:**
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 - REFER TO SHEET C4.1 - UTILITY DETAILS.
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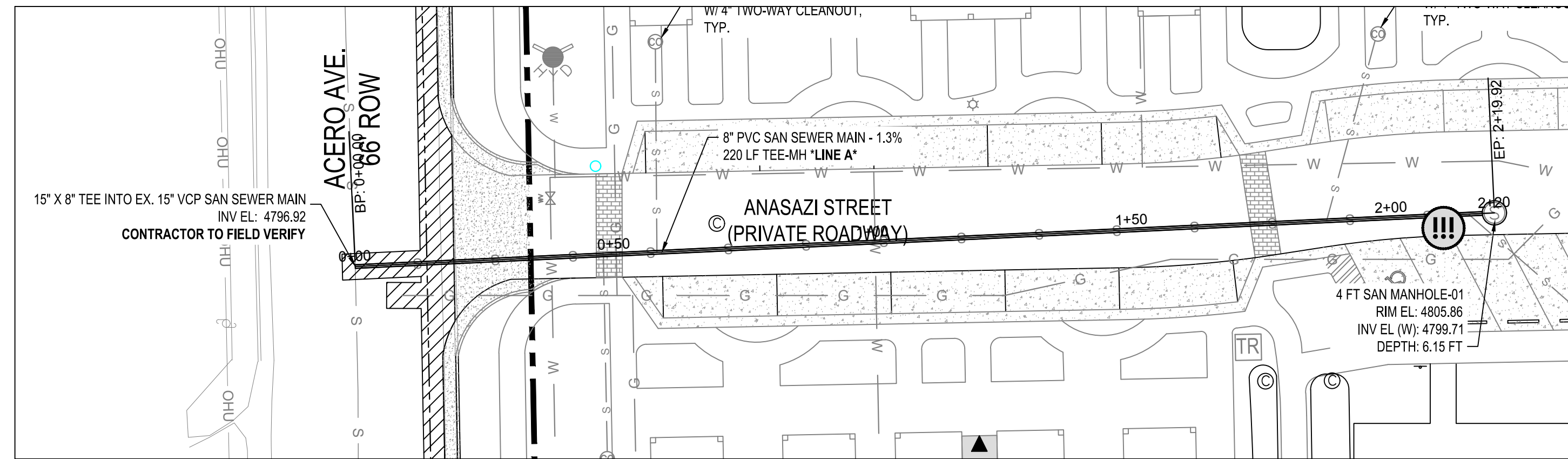
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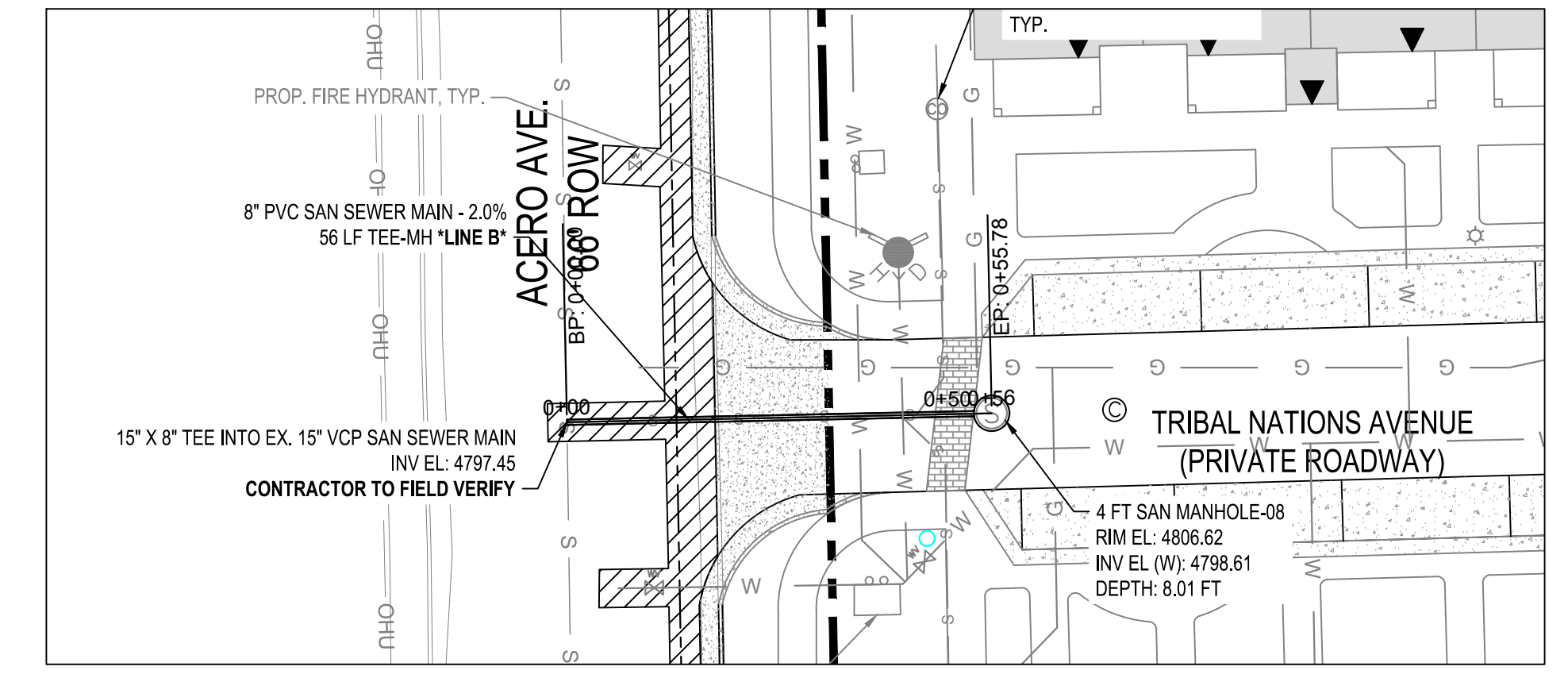
*NOTE: CONTRACTOR SHALL MODIFY THE ABOVE DETAIL SO THAT THE CLEANOUT IS TWO WAY WHILE ALSO CONFORMING TO THE CITY OF PUEBLO STANDARDS.

SANITARY "A" PLAN

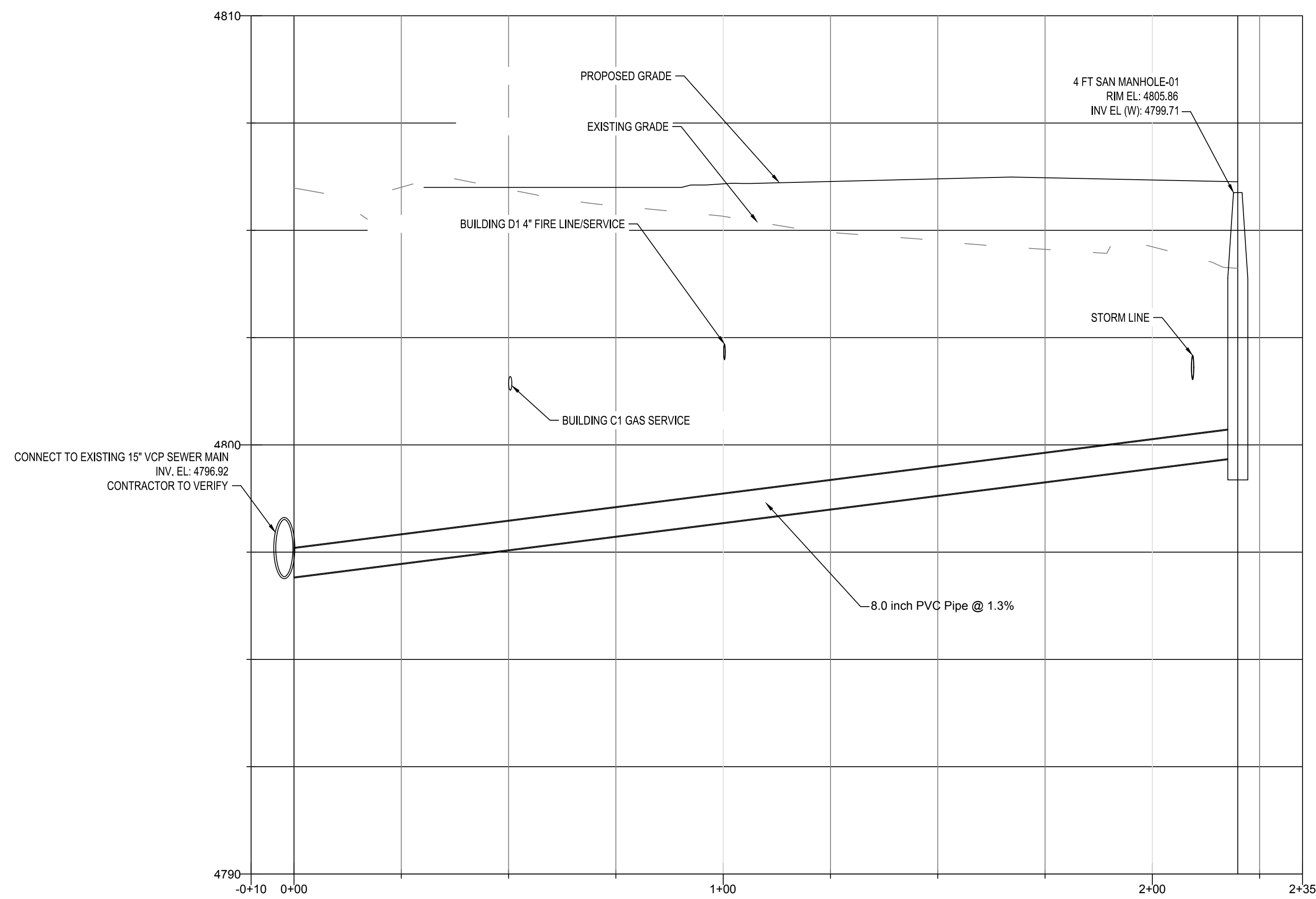


!!! DENOTES STORM CROSSING LOCATION.

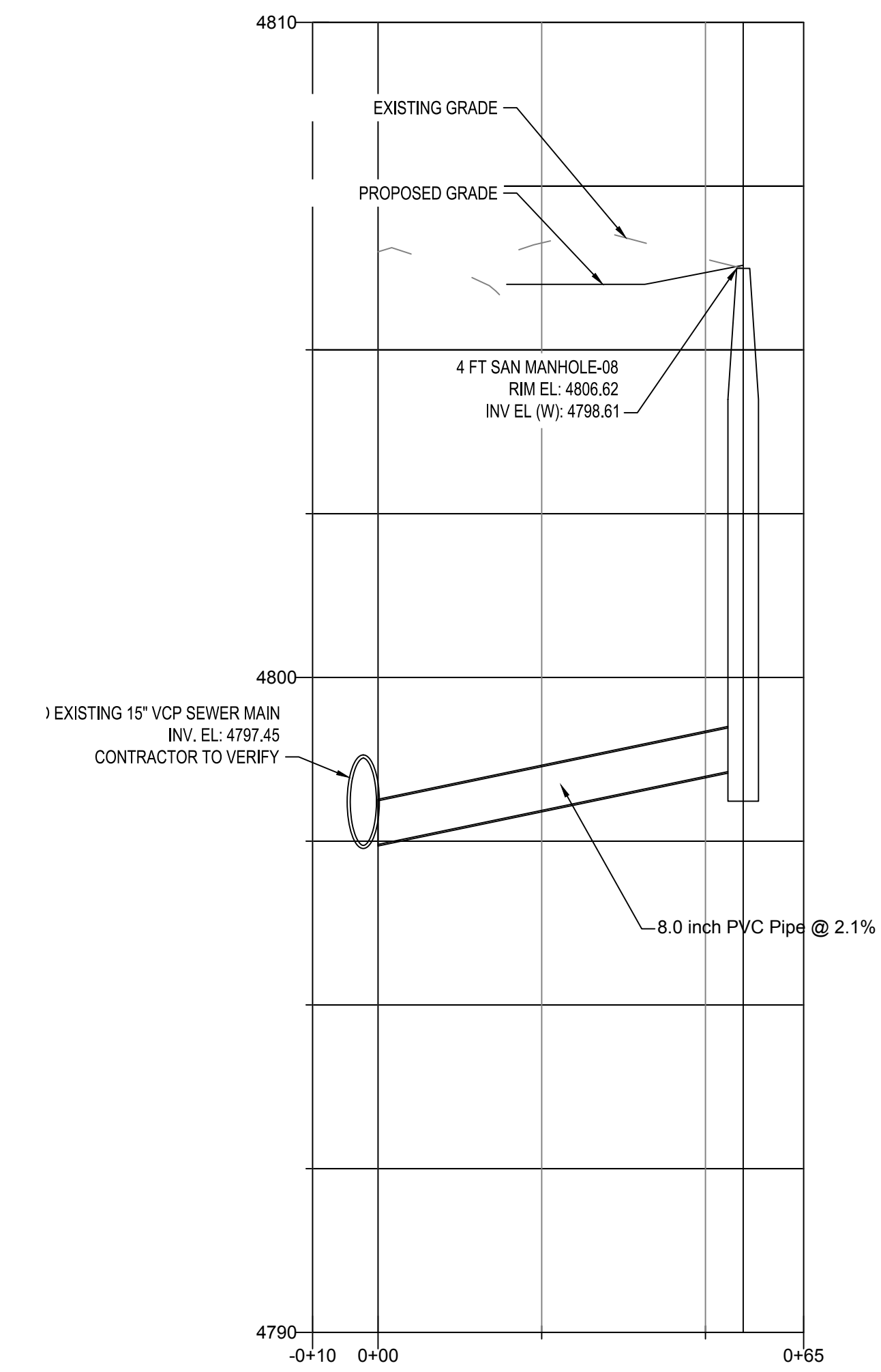
SANITARY "B" PLAN



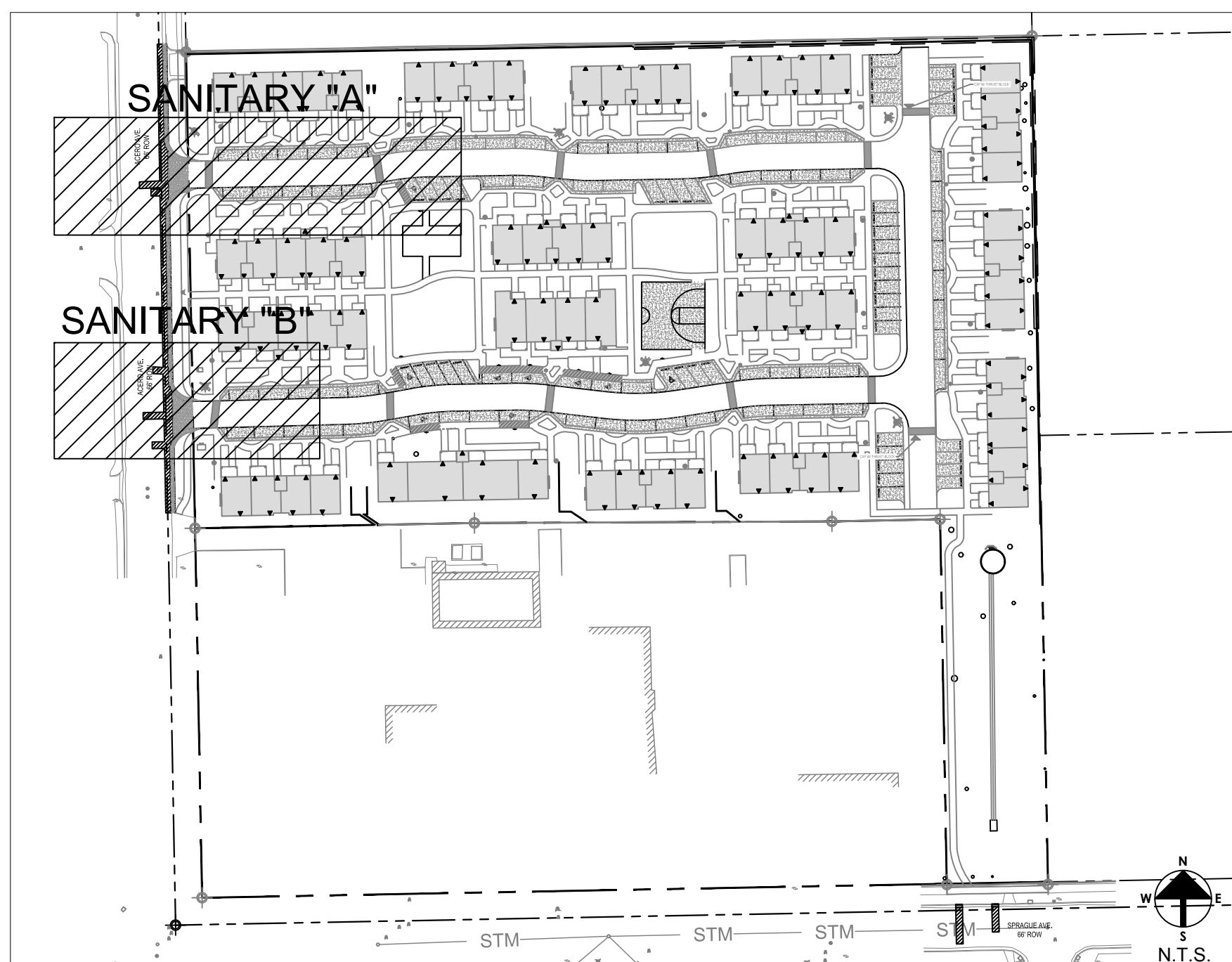
SANITARY "A" PROFILE



SANITARY "B" PROFILE



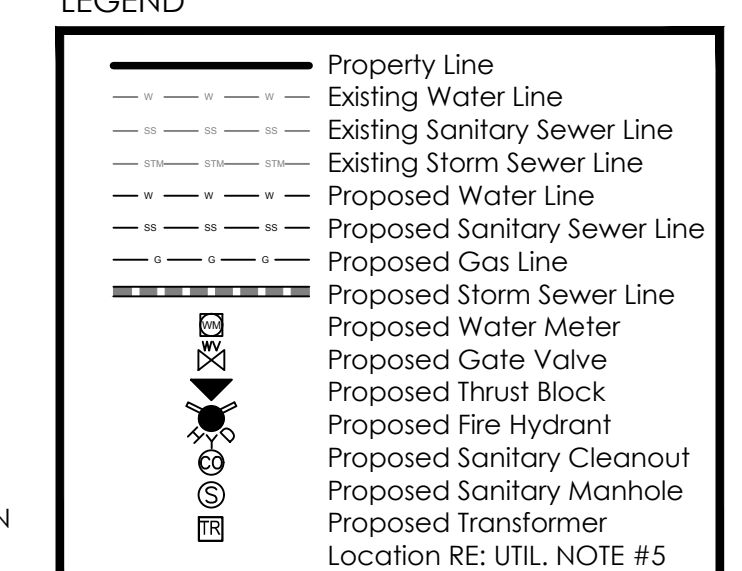
VICINITY MAP



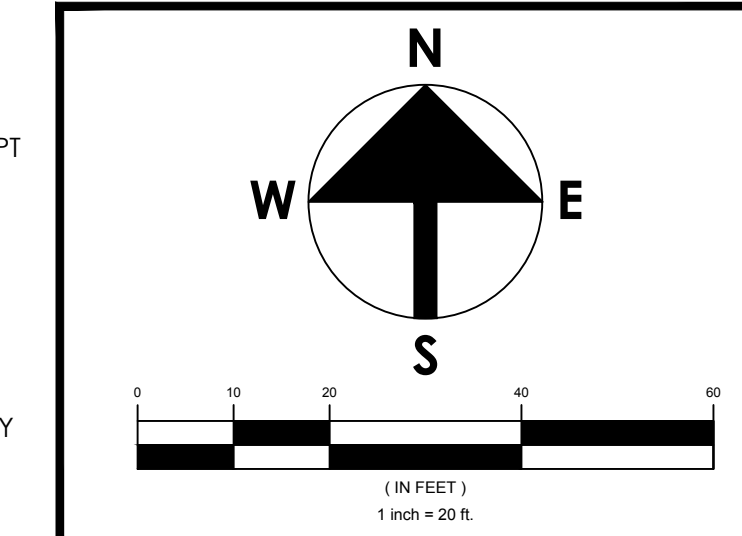
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LEGEND



DRAWING SCALE & NORTH ARROW



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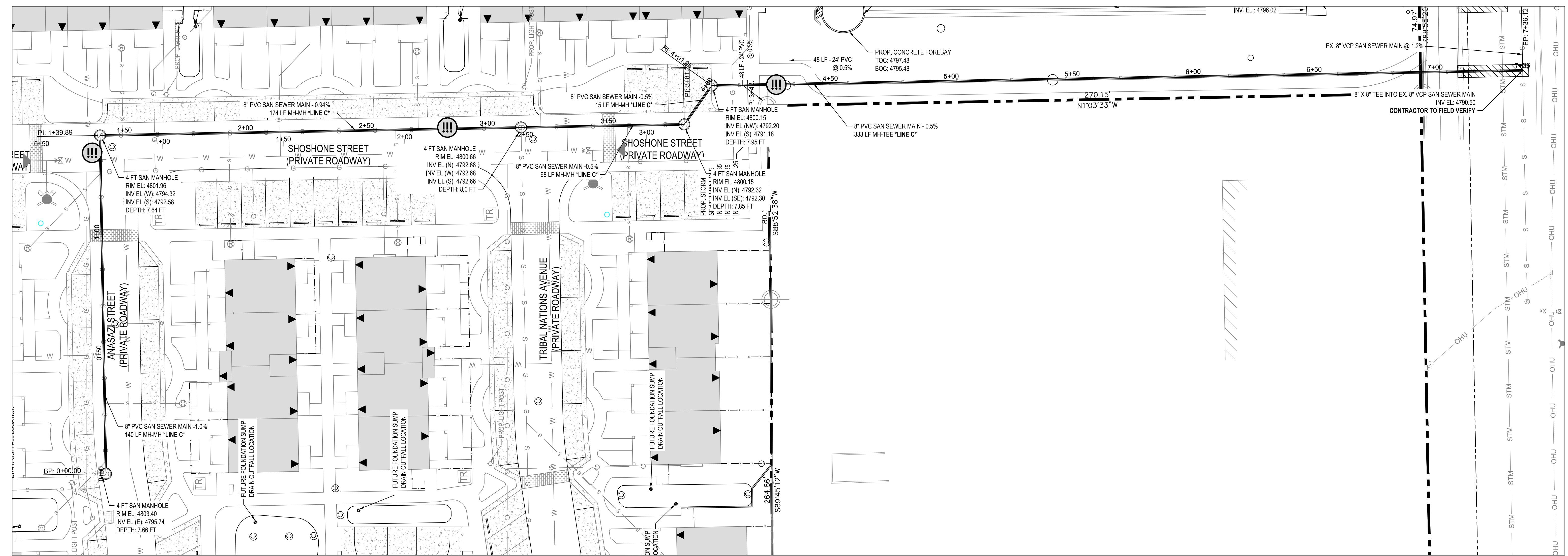
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GAS UTILITY NOTES:

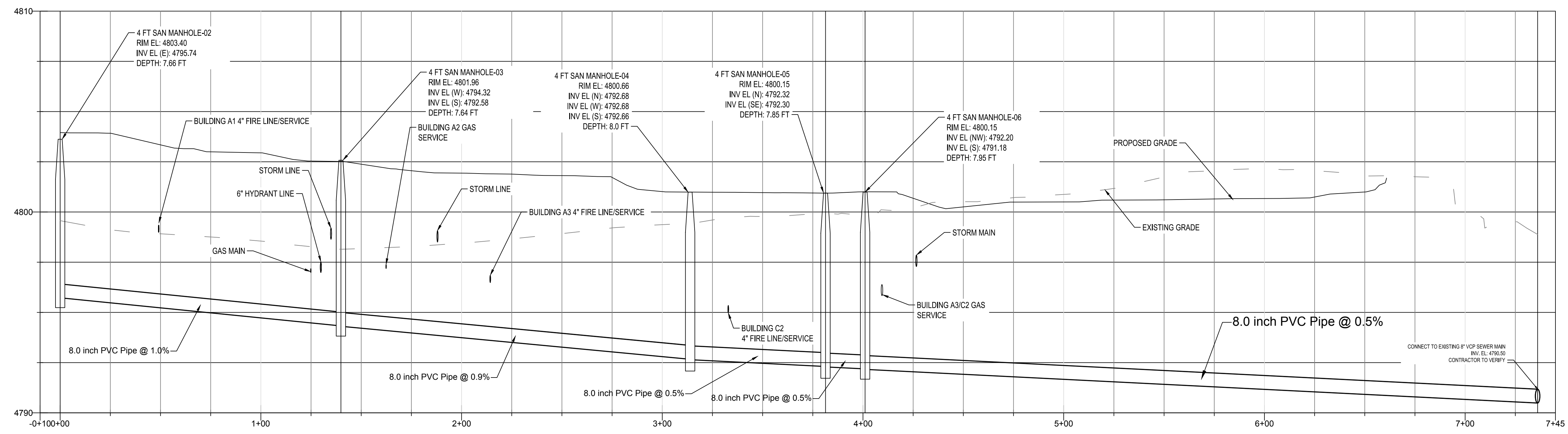
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SANITARY "C" PLAN

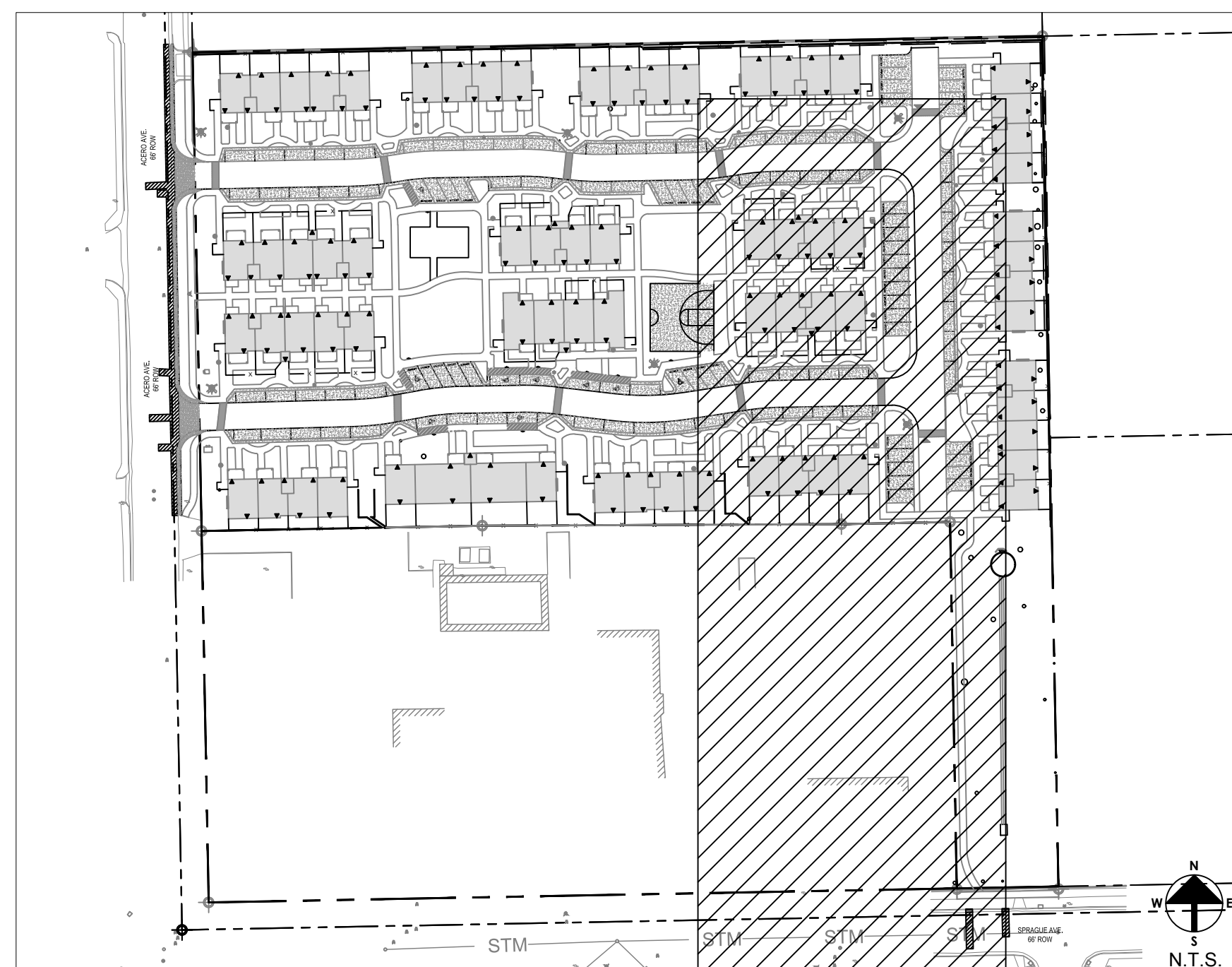


!!! DENOTES STORM CROSSING LOCATION.

SANITARY "C" PROFILE



VICINITY MAP



UTILITY NOTES:

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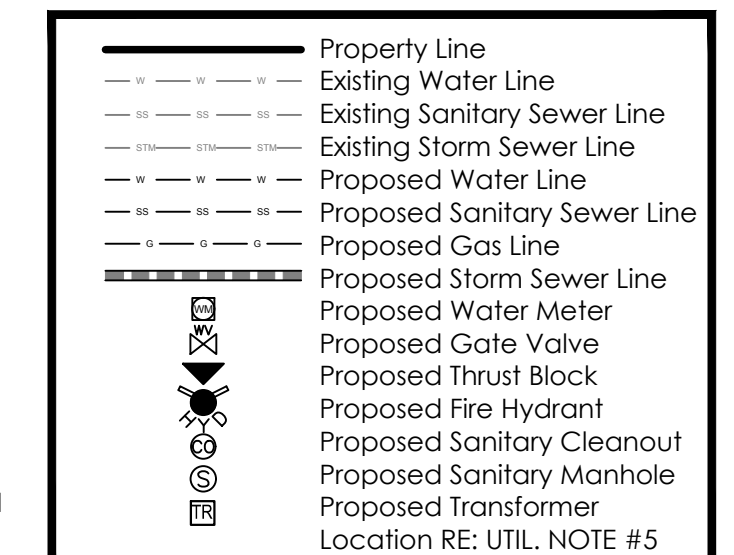
STREET LIGHTING NOTE:

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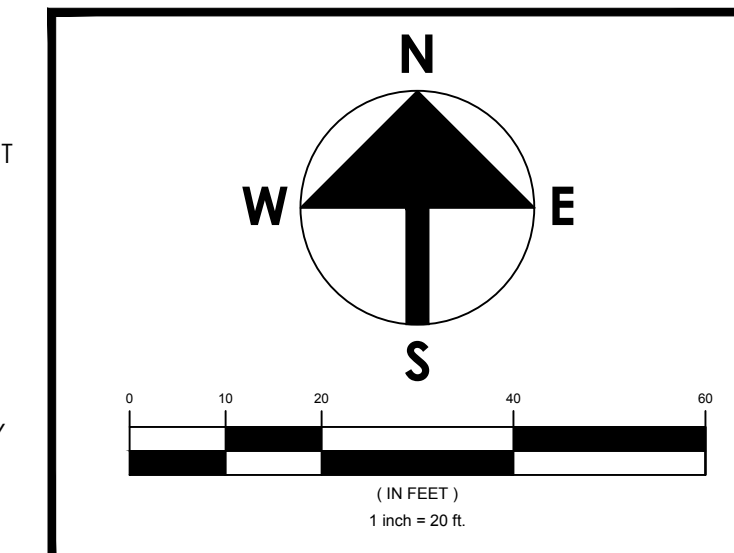
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LEGEND



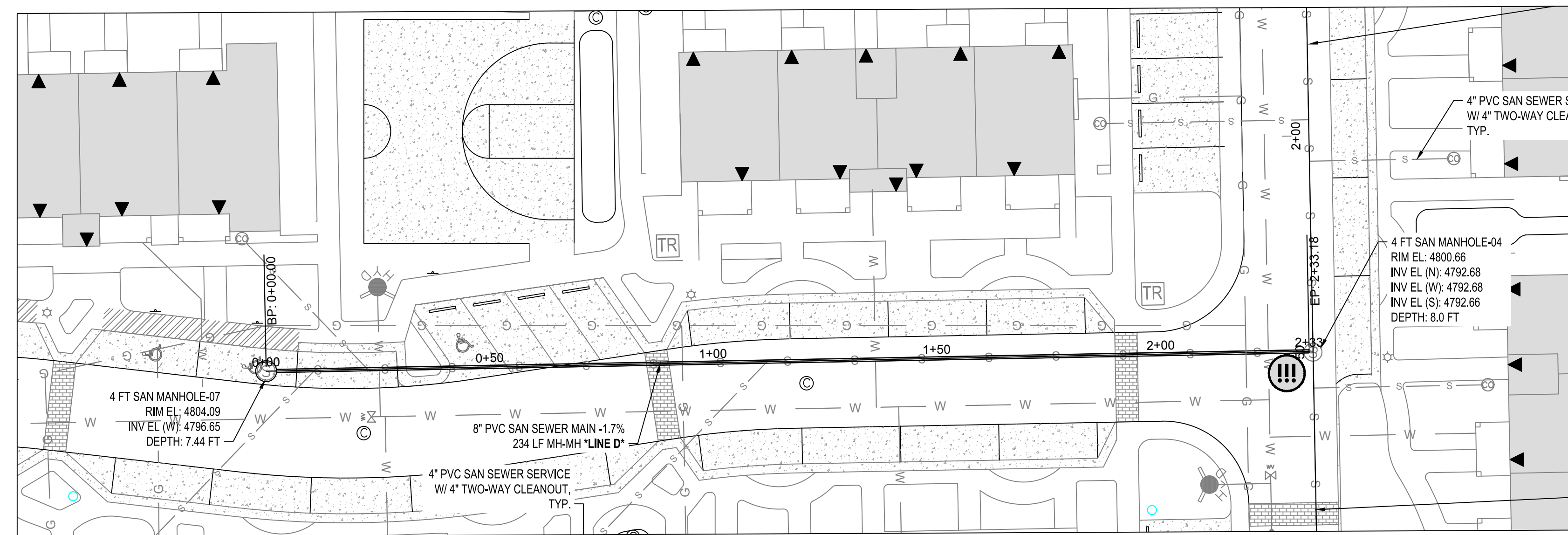
DRAWING SCALE & NORTH ARROW



GENERAL NOTES:

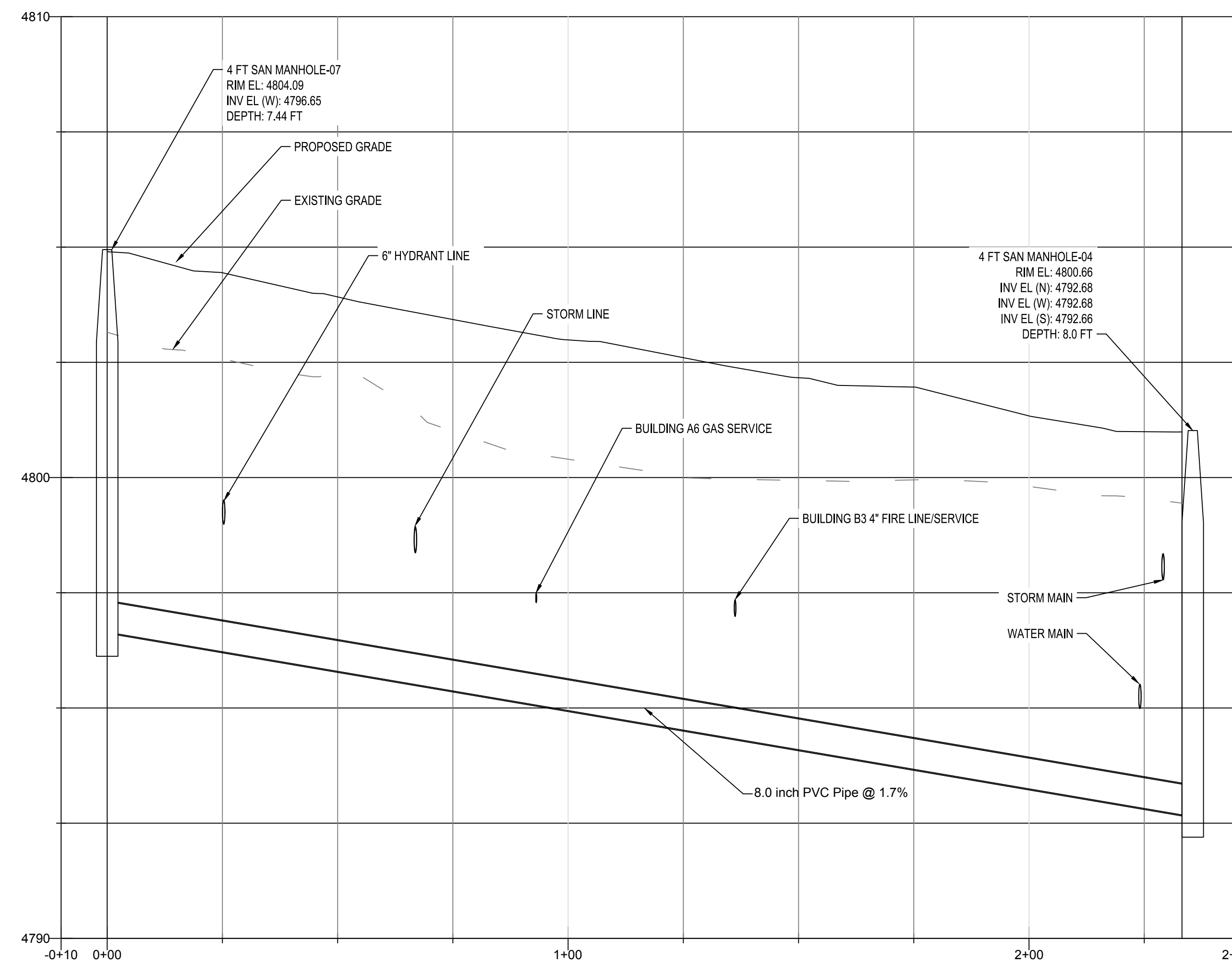
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SANITARY "D" PLAN

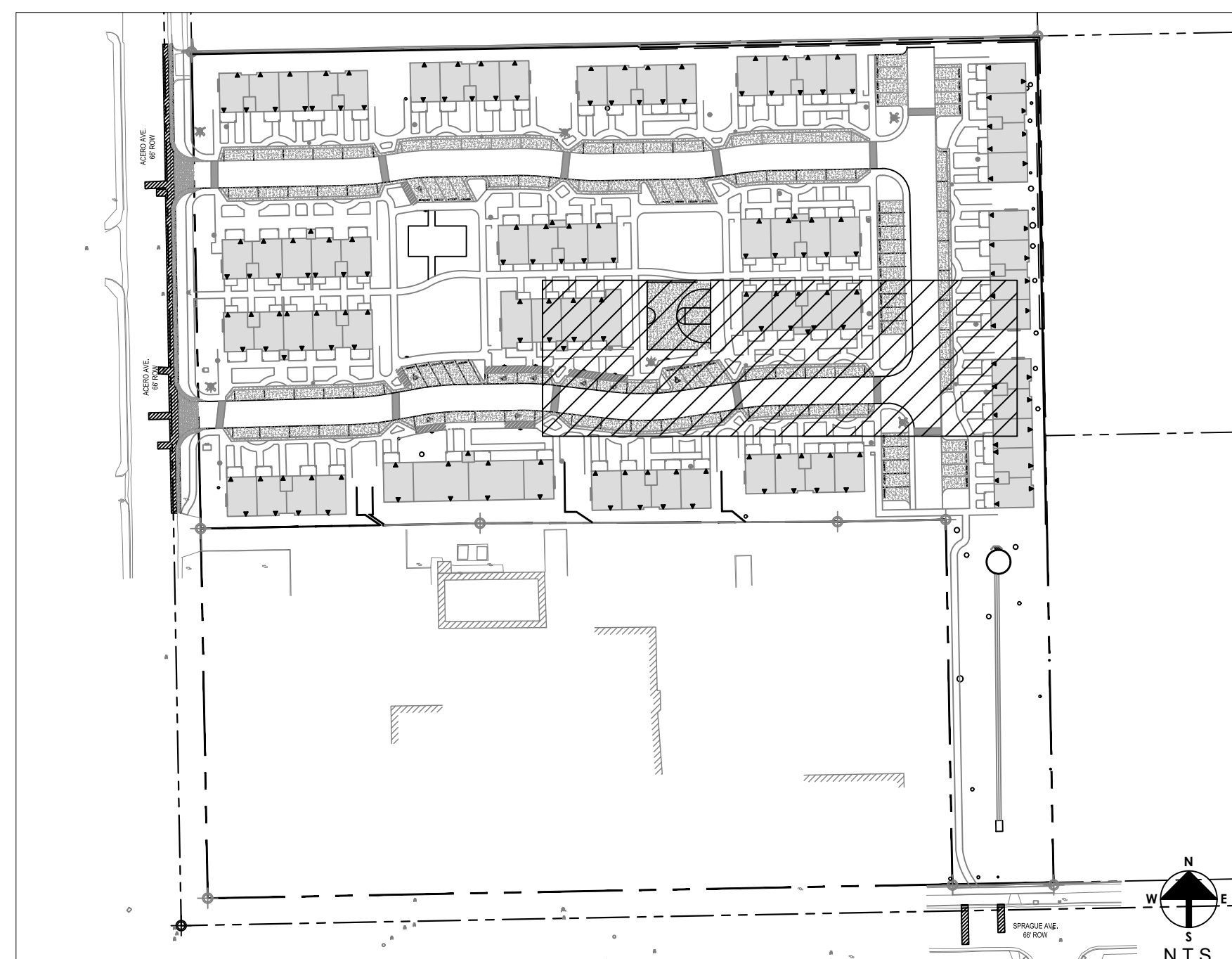


Ⓜ DENOTES STORM CROSSING LOCATION.

SANITARY "D" PROFILE



VICINITY MAP



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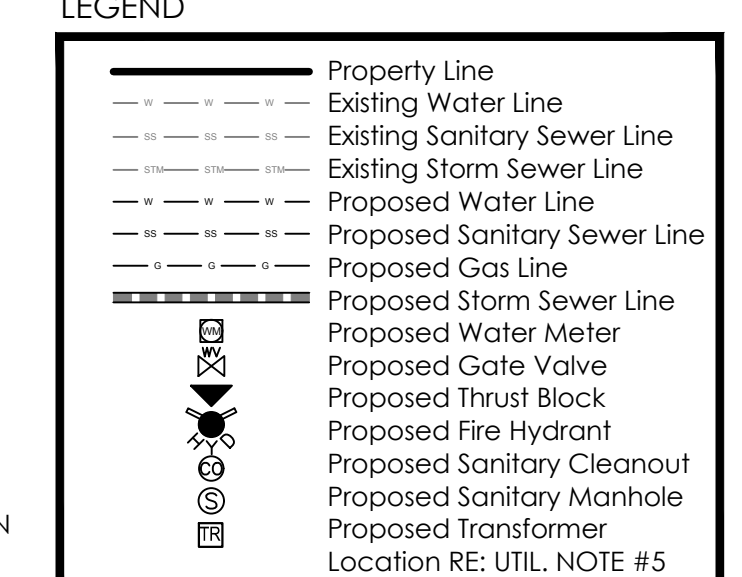
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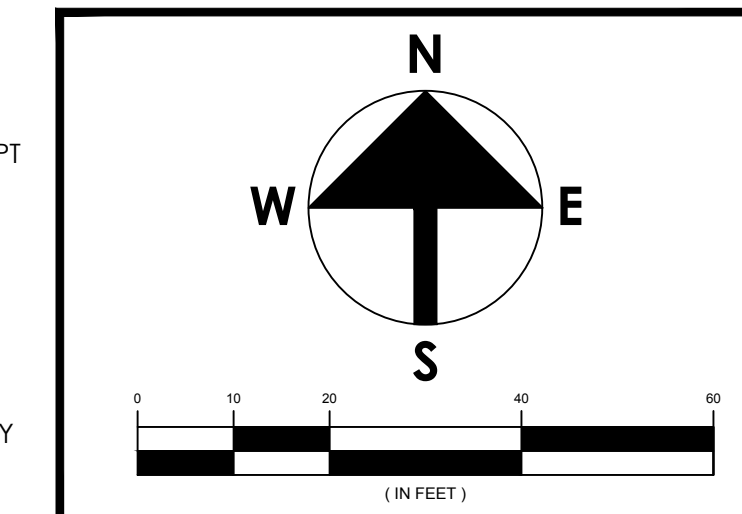
GAS UTILITY NOTES:

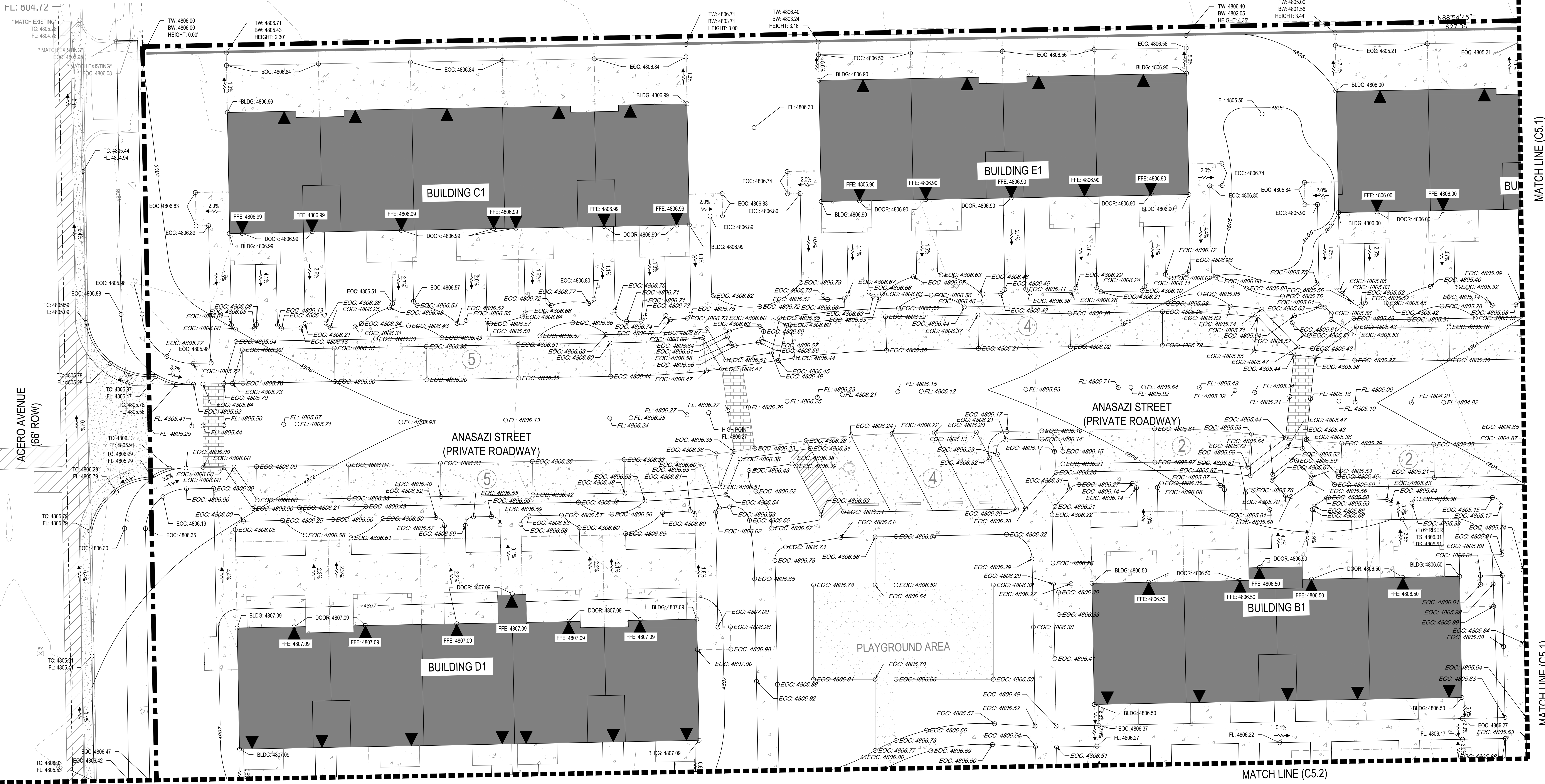
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LEGEND



DRAWING SCALE & NORTH ARROW



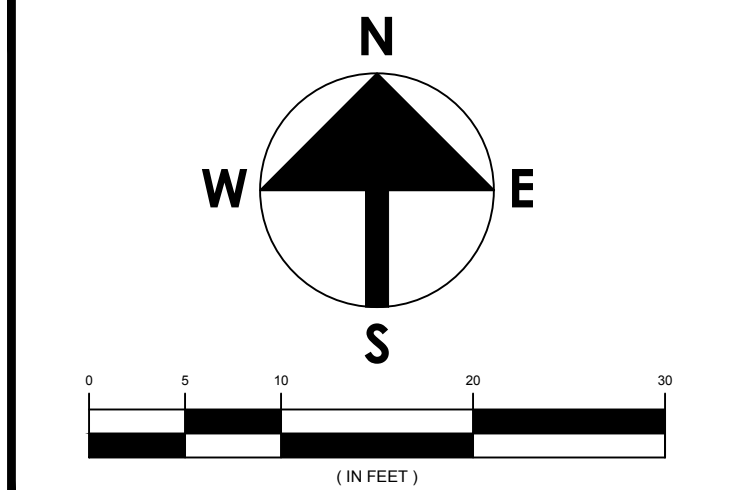


MATCH LINE (C5.2)

MATCH LINE (C5.1)

MATCH LINE (C5.1)

DRAWING SCALE & NORTH ARROW



BMP NOTE:

1. PROJECT SHALL FOLLOW THE CITY OF PUEBLO STORM WATER AND EROSION CONTROL BEST MANAGEMENT PRACTICES.

GRADING NOTES:

- CONTRACTOR SHALL MAINTAIN 2% CROSS-SLOPE ON ALL PROPOSED SIDEWALKS.
- CONTRACTOR SHALL ENSURE ALL ACCESSIBLE ROUTES AND RAMPS ARE ADA COMPLIANT.
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LEGEND

	Property Line
	Proposed P.U.E.
	Existing Fence
	Proposed Fence
	Parking Space Count
	6" - 4000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)
	4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
	Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
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Abbreviation Legend

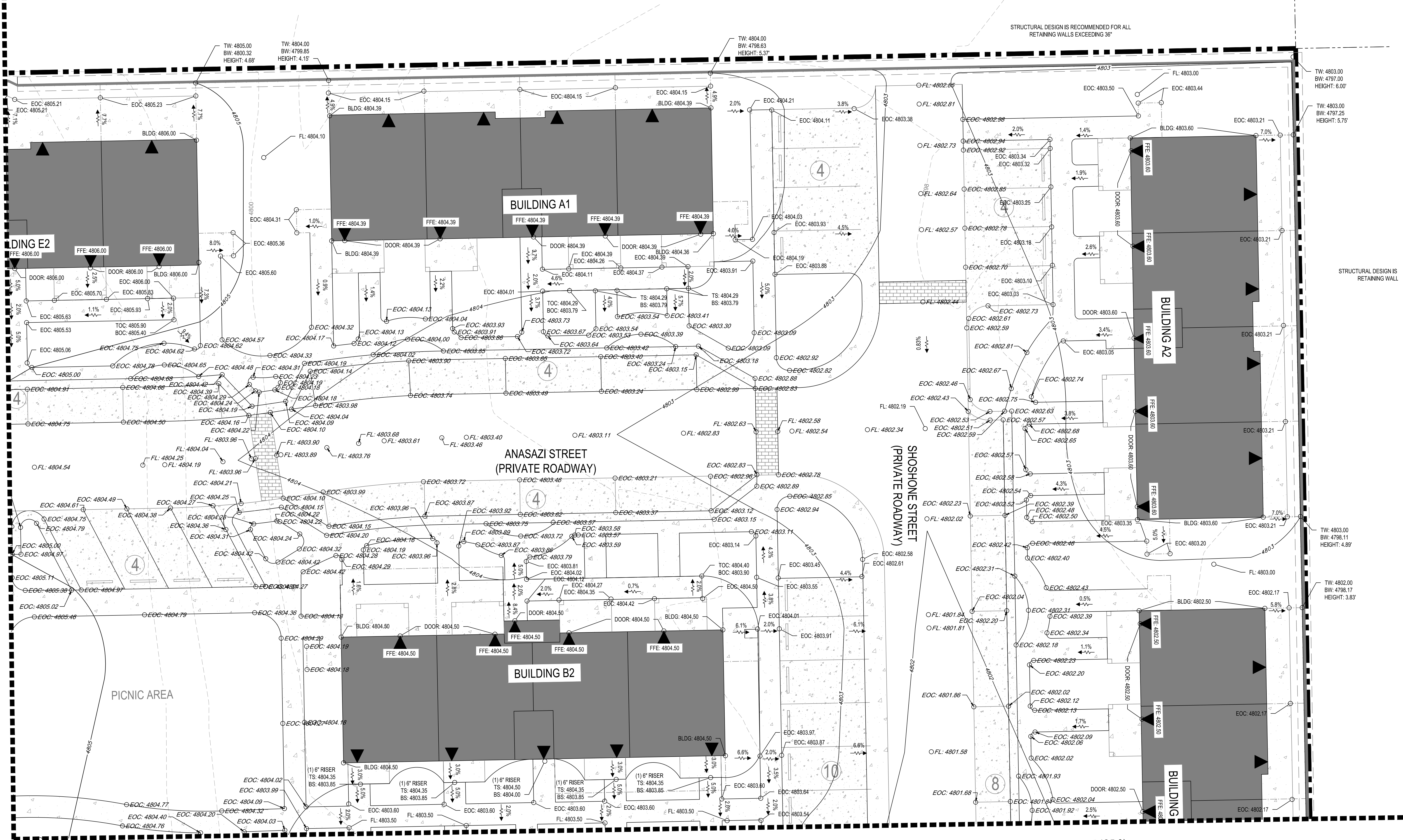
FG	Finished Grade
EG	Existing Grade
FL	Flow Line
PC	Property Corner
TC	Top of Curb
BC	Bottom of Curb
TS	Top of Step
BS	Bottom of Step
GB	Grade Break
GS	Ground Shot
TW	Top of Wall
BW	Bottom of Wall
DS	Downspout
FFE	Finished Floor Elevation
Foyer	Foyer
Gar. Garage	Gar. Garage
HP	High Point

MATCH LINE (C5.0)

MATCH LINE (C5.0)

MATCH LINE (C5.3)

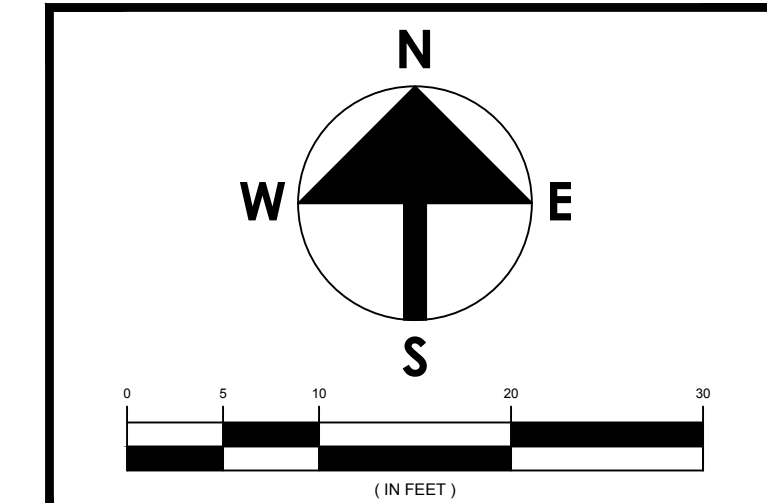
MATCH LINE (C5.3)



STRUCTURAL DESIGN IS RECOMMENDED FOR ALL RETAINING WALLS EXCEEDING 36"

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DRAWING SCALE & NORTH ARROW



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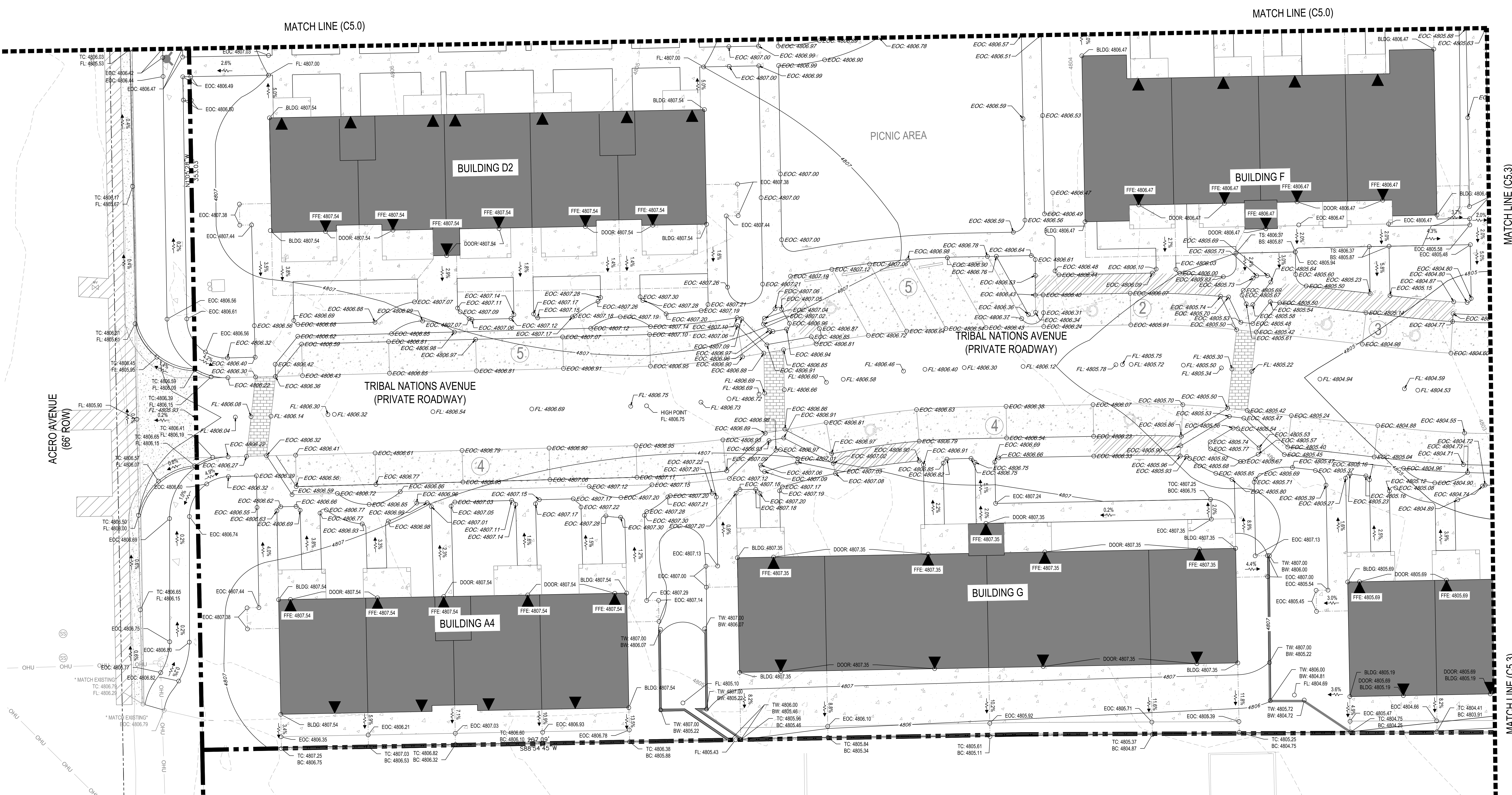
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LEGEND

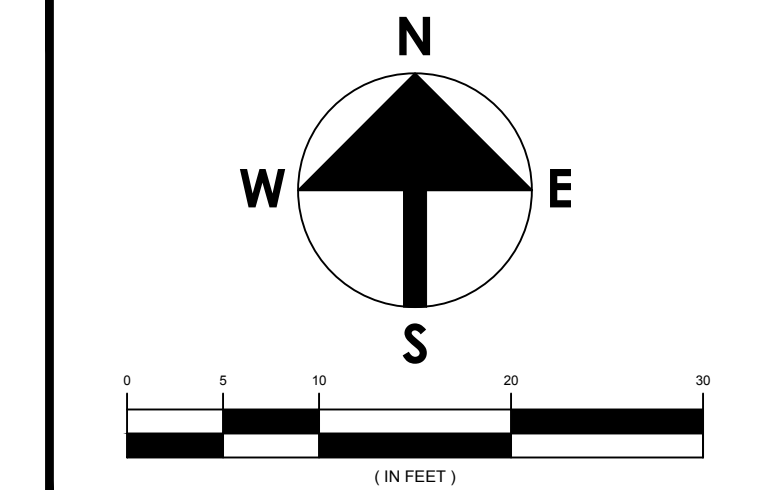
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	Proposed P.U.E.
	Existing Fence
	Proposed Fence
	Parking Space Count
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TW	Top of Wall
BW	Bottom of Wall
DS	Downspout
FFE	Finished Floor Elevation
Toy	Toy
Gar	Garage
HP	High Point



DRAWING SCALE & NORTH ARROW



BMP NOTE:
1. PROJECT SHALL FOLLOW THE CITY OF PUEBLO STORM WATER AND EROSION CONTROL BEST MANAGEMENT PRACTICES.

GRADING NOTES:
1. CONTRACTOR SHALL MAINTAIN 2% CROSS-SLOPE ON ALL PROPOSED SIDEWALKS.
2. CONTRACTOR SHALL ENSURE ALL ACCESSIBLE ROUTES AND RAMPS ARE ADA COMPLIANT.
3. CONTRACTOR SHALL FIELD VERIFY ELEVATION OF ALL TIE-IN POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

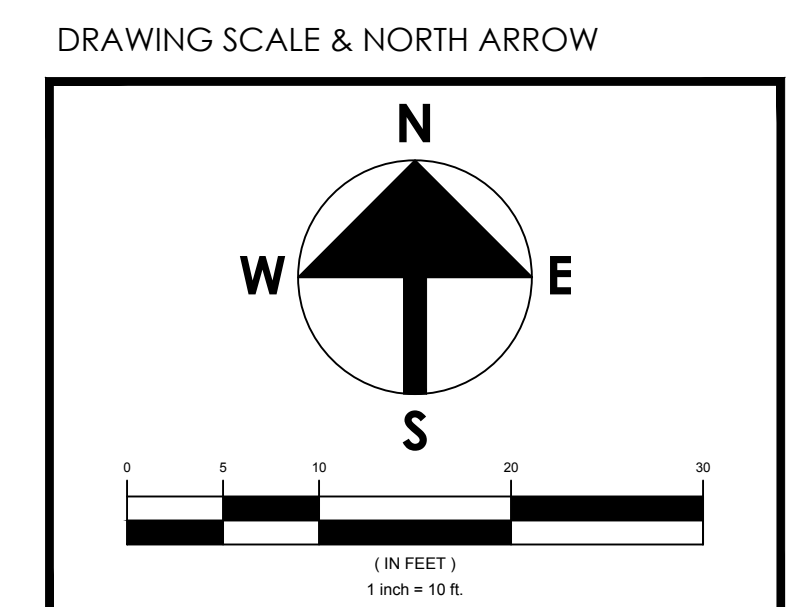
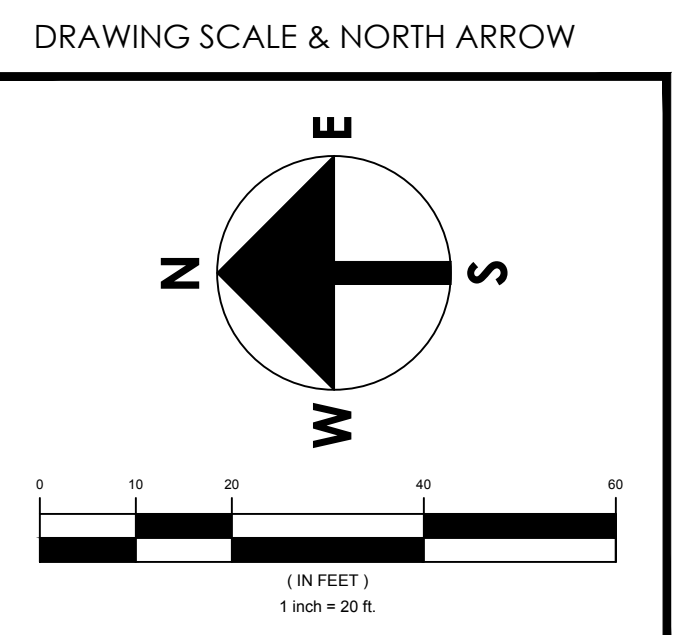
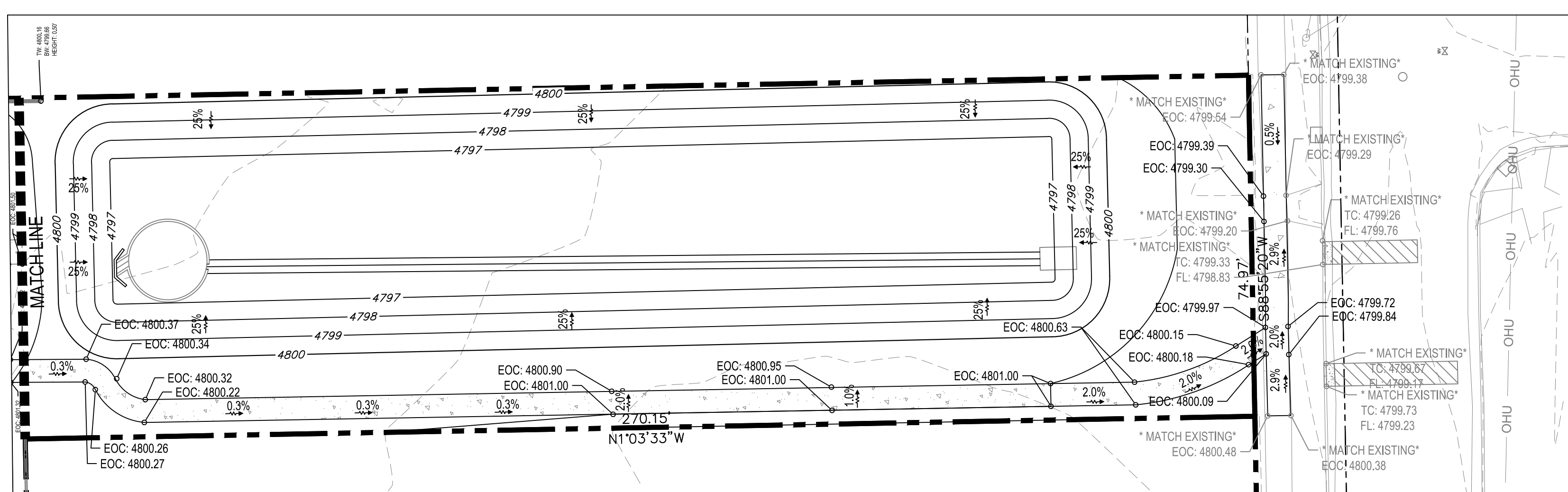
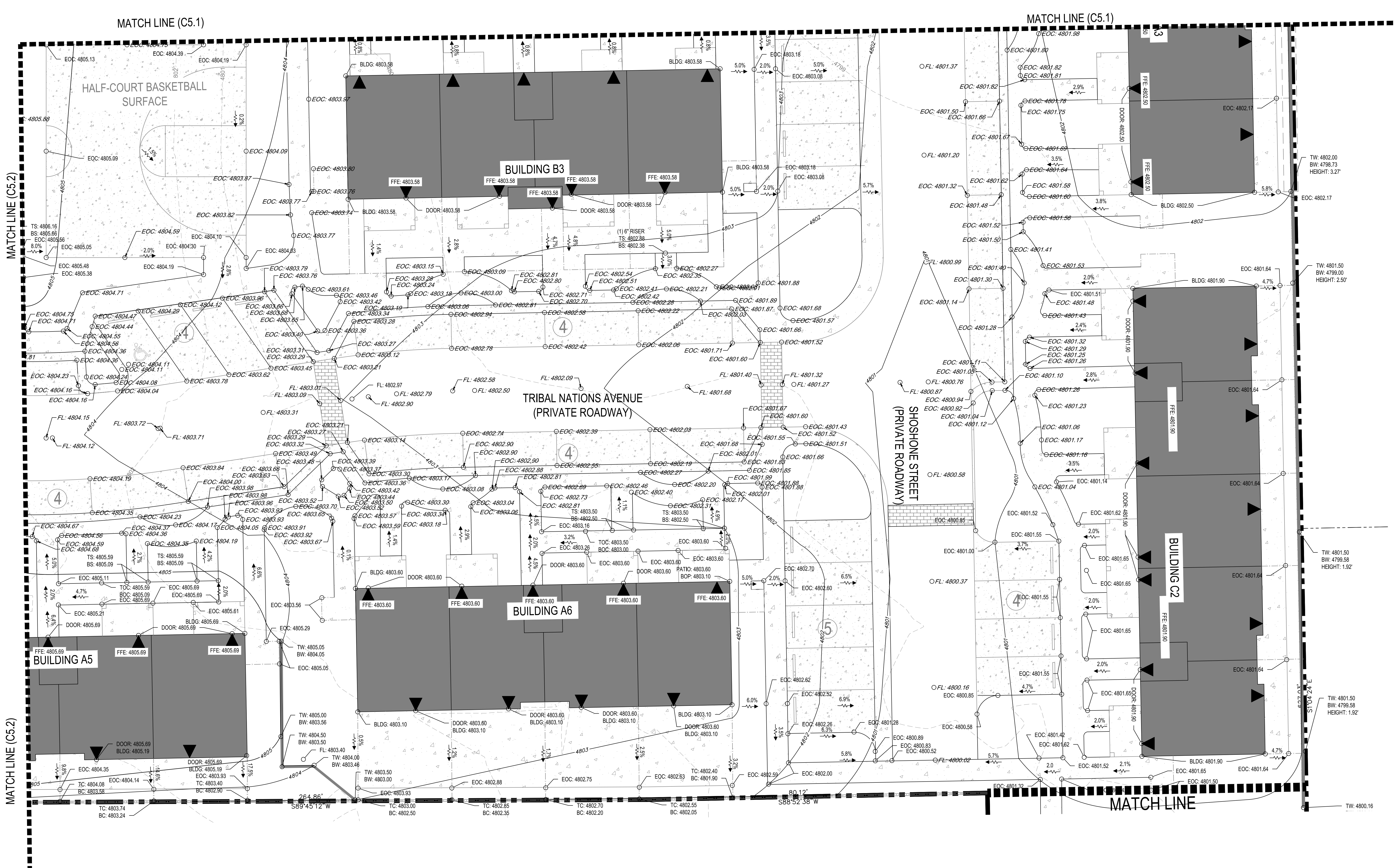
GENERAL NOTES:
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2. UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
3. SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
4. SITE BENCHMARK: VERTICAL DATUM IS NAVD88 USING GEOID128 TO DERIVE ELEVATIONS.

LEGEND

	Property Line
	Proposed P.U.E.
	Existing Fence
	Proposed Fence
	Parking Space Count
	6" - 4000psi - Fibre Reinf. Conc. (See Table 3, Sheet C3.0 for Quant.)
	4" - 3500psi - Conc. (See Table 3, Sheet C3.0 for Quant.)
	Public Walks per City of Pueblo Details (See Table 3, Sheet C3.0 for Quant.)
	Public Curbs & Curb Cuts per City of Pueblo Details (See Table 3, Sheet C3.0 for Quantities)
	Asphalt Street Patch (See Table 3, Sheet C3.0 for Quantities)
	Pavedrain Pavers (See Table 3, Sheet C3.0 for Quantities)
	Rubber Fall Protection for Playground (See Table 3, Sheet C3.0 for Quantities)

Abbreviation Legend

FG	Finished Grade
EG	Existing Grade
FL	Flow Line
PC	Property Corner
TC	Top of Curb
BC	Bottom of Curb
TS	Top of Step
BS	Bottom of Step
GB	Grade Break
GS	Ground Shot
TW	Top of Wall
BW	Bottom of Wall
DS	Downspout
FFE	Finished Floor Elevation
Fy	Foyer
Gn	Garage
HP	High Point



BMP NOTE:
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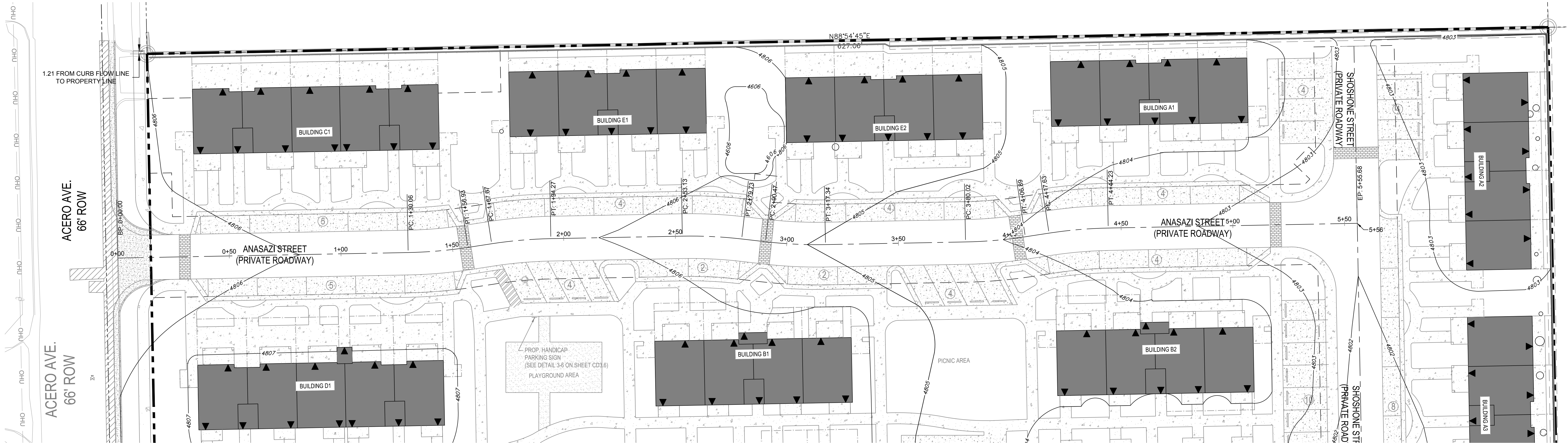
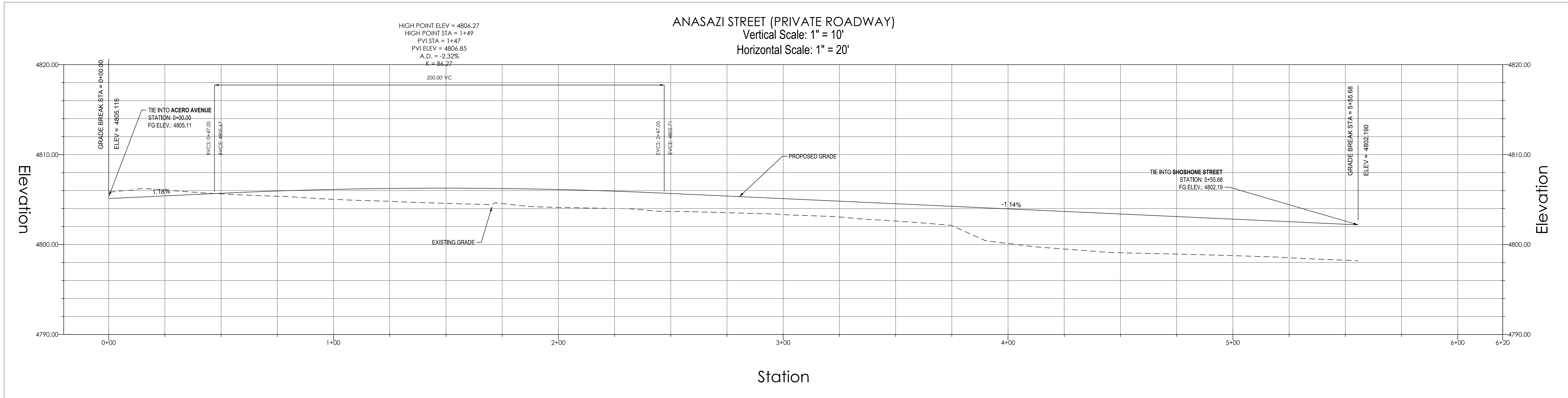
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LEGEND

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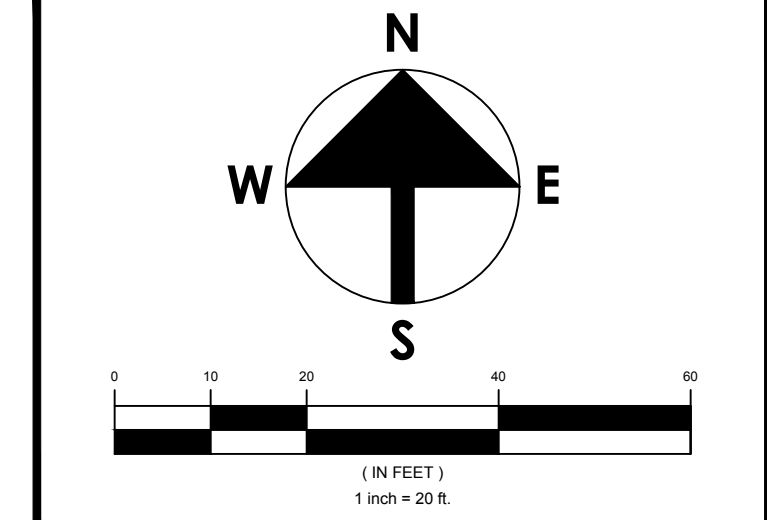
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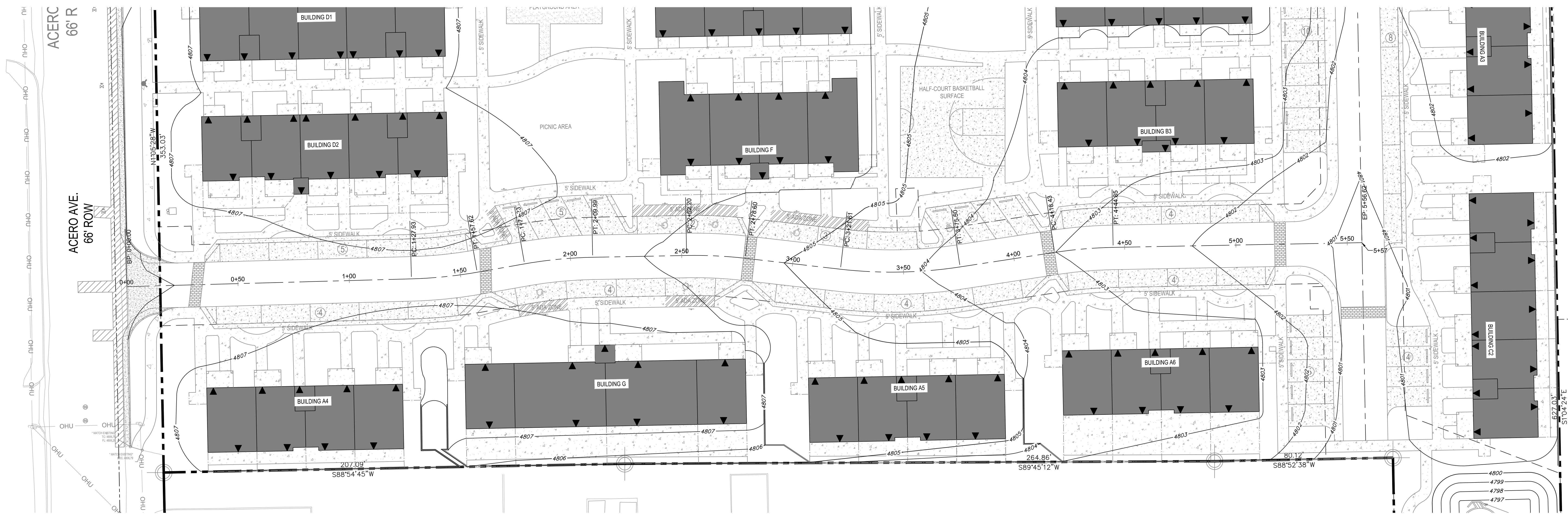
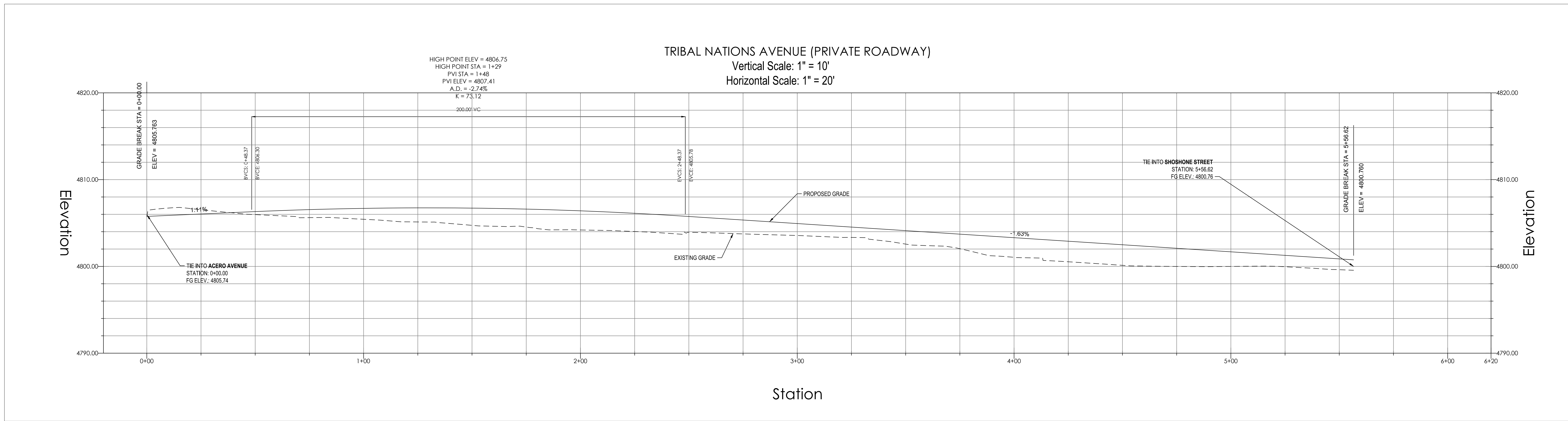
LEGEND

	Property Line
	Proposed P.U.E.
	Parking Space Count

DRAWING SCALE & NORTH ARROW



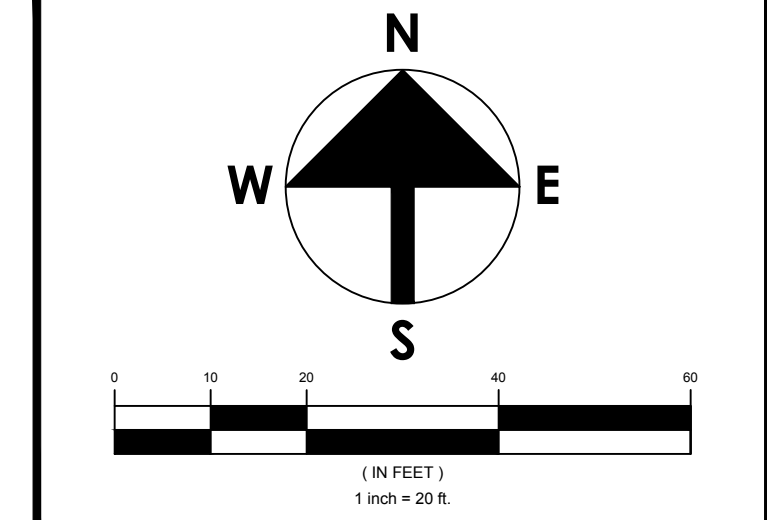
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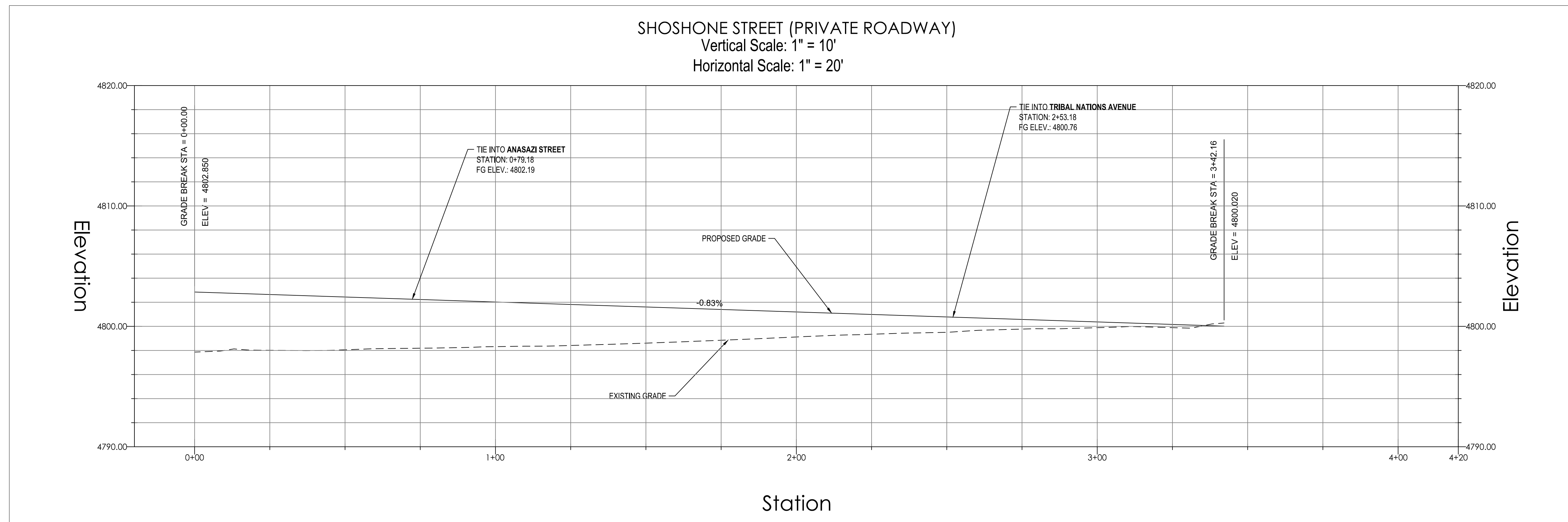
LEGEND

	Property Line
	Proposed P.U.E.
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DRAWING SCALE & NORTH ARROW



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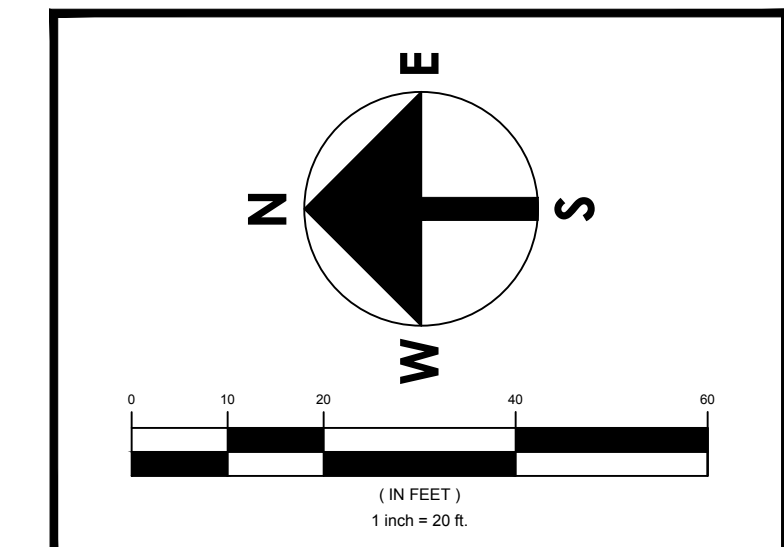


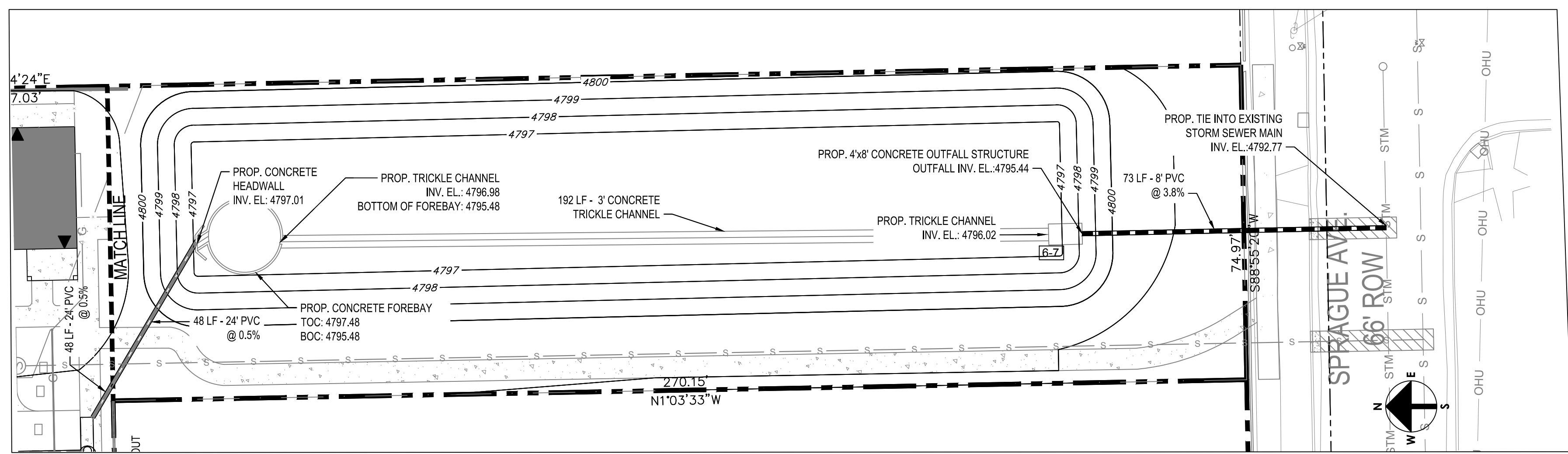
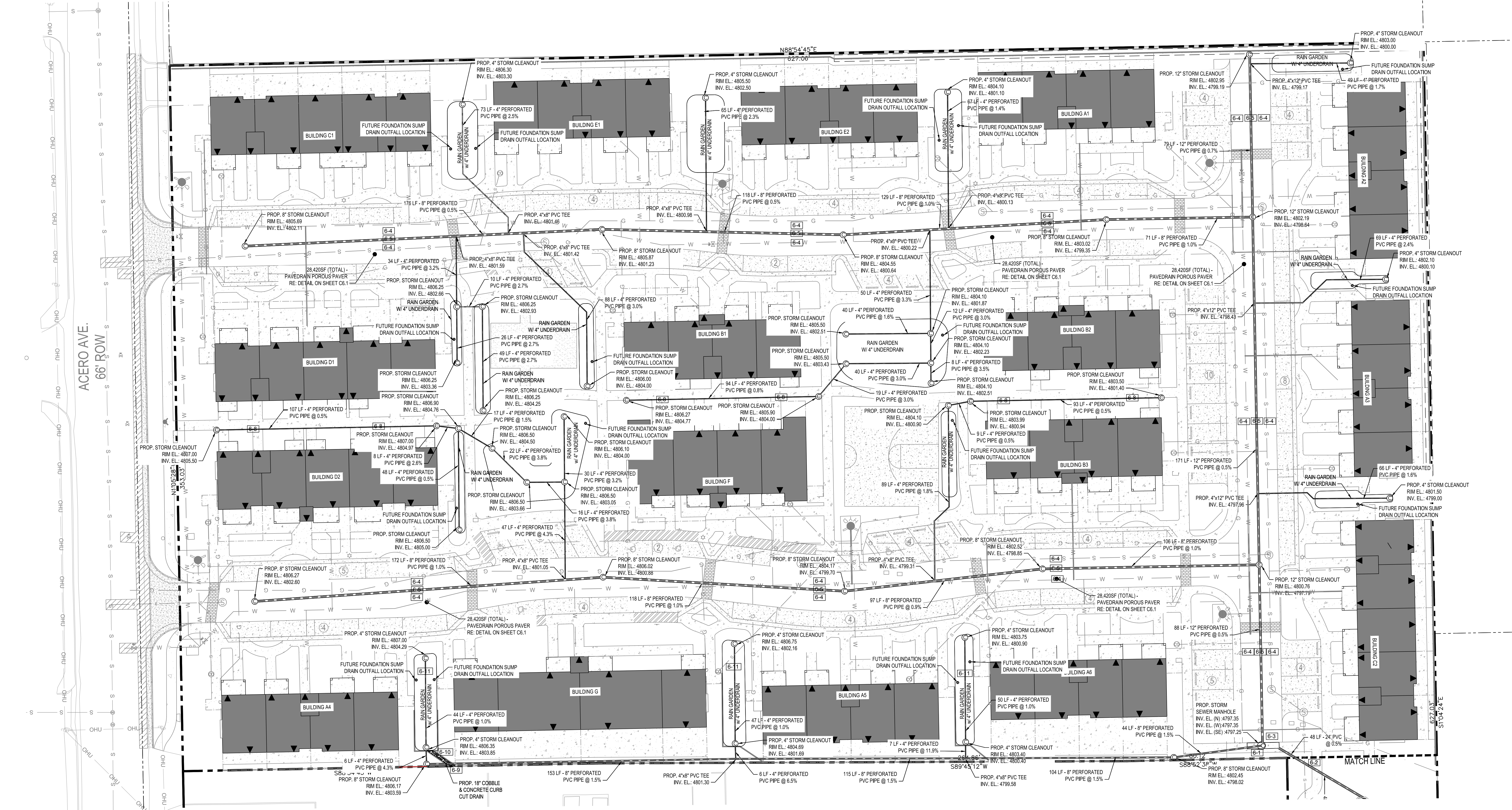
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LEGEND

	Property Line
	Proposed P.U.E.
	Parking Space Count

DRAWING SCALE & NORTH ARROW





DETAIL KEY (SEE SHEET C6.1 FOR DETAILS):

- 6-1 STORM MANHOLES
- 6-2 STORM SEWER TRENCH DETAIL
- 6-3 MANHOLE & INLET RING & COVER DETAILS
- 6-4 PAVE DRAIN CROSS-SECTION DETAIL
- 6-5 PERMEABLE - ARTICULATING CONCRETE BLOCK/MAT
- 6-6 PARTIAL INFILTRATION SECTIONS
- 6-7 OUTLET CONTROL STRUCTURE DETAIL
- 6-8 SIDEWALK DRAIN BETWEEN BUILDINGS DETAIL
- 6-9 FENCE ON 4\"/>
- 6-10 DRAINAGE FLUME DETAIL
- 6-11 CINDER BLOCK WALL & RAIN GARDEN DETAIL
- 6-12 TYPICAL RAIN GUTTER DETAIL

TABLE 6

Upland Townhomes - Drainage Quantities (TOTAL)													
Material	Quantity												
Storm Drainage													
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*Note: The above quantities have been provided as a courtesy, it shall be the responsibility of the contractor to confirm quantities.
*Note: The above quantities do not include the PVC piping connecting downspouts to the drainage system. The contractor shall be responsible for determining these quantities.

DOWNSPOUTS NOTES:

- CONTRACTOR SHALL REFER TO BUILDING ELEVATIONS TO DETERMINE LOCATIONS OF DOWNSPOUTS.
- DOWNSPOUTS LOCATED ON SIDES OF BUILDING SHALL BE BUILT ACCORDING TO DETAIL 6-12, ON SHEET C6.1.
- CONTRACTOR SHALL CONNECT ALL DOWNSPOUTS ON REAR AND FRONT OF BUILDINGS TO PROPOSED DRAINAGE SYSTEM, UNDERGROUND. QUANTITIES OF PVC PIPING NEEDED TO CONNECT DOWNSPOUTS TO DRAINAGE SYSTEM SHALL BE DETERMINED BY CONTRACTOR.

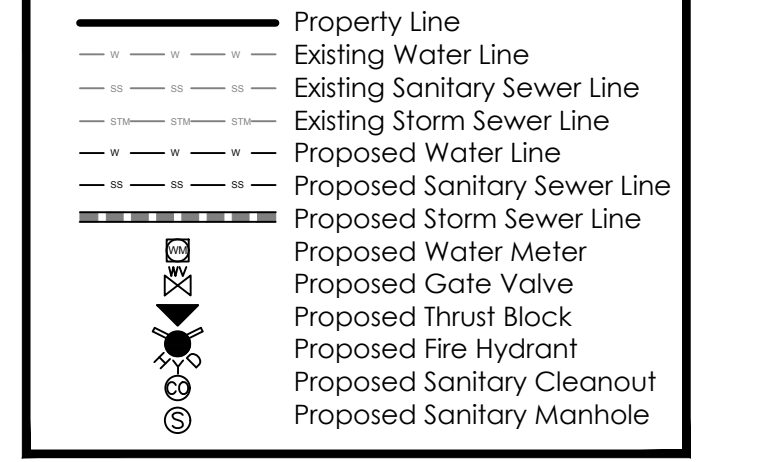
UTILITY NOTES:

- REFER TO SHEET C4.2 - UTILITY DETAILS FOR SANITARY SEWER AND WATER DETAILS.
- ALL STORM SEWER UTILITY CONSTRUCTION SHALL CONFORM WITH STANDARD CONSTRUCTION SPECIFICATIONS AND STANDARDS DETAILS FOR CITY OF PUEBLO, COLORADO, LATEST REVISION & "STORM DRAINAGE DESIGN CRITERIA AND DRAINAGE POLICIES", LATEST REVISION.
- DRAINAGE AND STORM CALCULATIONS PREPARED BY ALTITUDE LAND CONSULTANTS. CALCULATIONS TO BE INCLUDED IN DRAINAGE REPORT AT TIME OF FORMAL SUBMITTAL.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GENERAL NOTES:

- ALL SURVEY INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD BY ALTITUDE LAND CONSULTANTS, INC., IN APRIL, 2016.
- UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
- SITE ADDRESS IS: ACERO AVENUE AND SPRAGUE AVENUE, PUEBLO, CO 81004.
- SITE BENCHMARK: 1

LEGEND



DRAWING SCALE & NORTH ARROW

