

BUILDING CODE: USBC (2009 IBC)
 MECHANICAL CODE: USBC (2009 IMC)
 PLUMBING CODE: USBC (20015 IPC)
 ELECTRICAL CODE: USBC (2009 NEC)
 ENERGY CODE: USBC (2009 IECC)
 HANDICAP ACCESSIBILITY CODE: 2009 ANSIA117.1

6. ALLOWABLE AREAS:
 M OCCUPANCY 4,000 S.F.

7. ALLOWABLE AREA INCREASE:
 $I_f = (F/P - 25)W/30$
 $I_f = (887/417 - 25)27/30$
 $I_f = 54$
 $A_0 = A_t + (A_t \times I_f) + (A_t \times I_b)$
 B OCCUPANCY: $A_a = A_t + (A_t \times I_f) + (A_t \times I_b)$
 $A_a = 9,000 + (9,000 \times .75) + (9,000 \times 0)$
 $A_a = 15,750$ S.F.

4. OCCUPANT LOAD:
 GROSS AREA / OCCUPANT LOAD FACTOR
 TENANT AREA: 2,378 SF/80 = 79.26 OCCUPANTS
 TOTAL OCCUPANTS 79.26 (80 OCCUPANTS)

5. MEANS OF EGRESS:
 MAXIMUM TRAVEL DISTANCE: 200 FEET (ANY POINT - NON SPRINKLED)
 200 FEET ACTUAL TRAVEL DISTANCE: 63'-2"

NUMBER OF EXITS REQUIRED: 2
 NUMBER OF EXITS PROVIDED: 2
 MINIMUM DOOR WIDTH: 0.2 X 80 = 16.0" (ACTUAL) = 108"
 MIN. DOOR IS 36"

9. PER 2009 IBC SCETTON 508.3 NONSEPARATED USES, NONSEPARATED USES ARE ALLOWED WITH "M" OCCUPANCY BEING THE MOST RESTRICTIVE

10. BUILDING IS NOT EQUIPPED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM

DIAGONAL DISTANCE OF SALES AREA IS 89'-4"
 1/2 DIAGONAL DISTANCE OF SPACE IS 34'-8"
 DISTANCE BETWEEN EXITS- 42'-2"

7 BUILDING CODE DATA

13 NOT USED

14 NOT USED

14 NOT USED

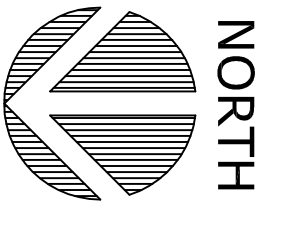
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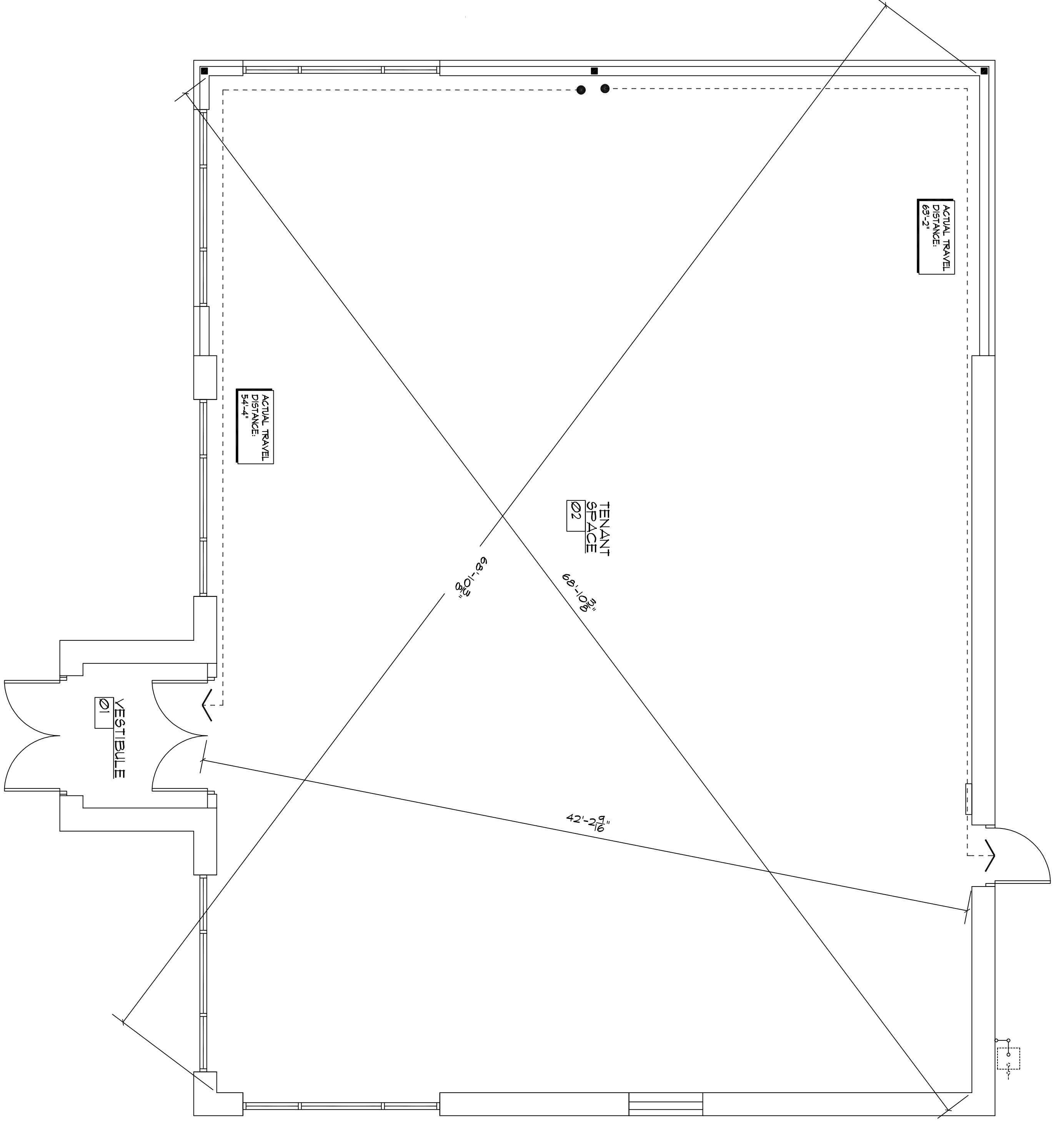
4 NOT USED

4 NOT USED

10 NOT USED



21 LIFE SAFETY FLOOR PLAN
 SCALE: 1/4"=1'-0"



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LIFE SAFETY FLOOR PLAN, BUILDING CODE DATA
**NEW SHELL BUILDING ADDITION FOR:
 INDEX DEVELOPMENT
 MANAGEMENT, LLC**
 908 WEST HIGHWAY 50
 PUEBLO, COLORADO

PROJECT NO.	2017B4
DATE	DECEMBER 18, 2017
DRAWN BY	JRD
CHECKED	JRD
APPROVED	JRD
REVISED	

SHEET
LSP1.1



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